



"Making a Difference"

**2-1**  
**COUNTY OF SAN LUIS OBISPO**  
**DEPARTMENT OF PLANNING AND BUILDING**  
**STAFF REPORT**

**PLANNING COMMISSION**

<b>MEETING DATE</b> <b>March 24, 2005</b>	<b>CONTACT/PHONE</b> <b>James Caruso, Project Manager</b> <b>781-5702</b>	<b>APPLICANT</b> <b>Cameron Realty</b> <b>Partners</b>	<b>FILE NO.</b> <b>D020302V</b>
<b>SUBJECT</b> Request by Cameron Realty Partners for a Variance/Coastal Development Permit to allow construction and grading on slopes over 30%. Grading occurred under a previous permit resulting in the disturbance of approximately 4500 sq ft and was abandoned. The current applicant proposes to construct a 5,168 sq ft single family dwelling, 820 sq ft garage, 1458 sq ft of decks/verandas and to construct road improvements on Richard Ave consisting of approximately 3450 sq ft of asphalt concrete pavement.			
<b>RECOMMENDED ACTION</b> 1. Adopt the Negative Declaration in accordance with the applicable provisions of the California Environmental Quality Act, Public Resources Code Section 21000 et seq. 2. Approve Variance D020302V based on the findings listed in Exhibit A and the conditions listed in Exhibit B			
<b>ENVIRONMENTAL DETERMINATION</b> The Environmental Coordinator, after completion of the initial study, finds that there is no substantial evidence that the project may have a significant effect on the environment, and the preparation of an Environmental Impact Report is not necessary. Therefore, a Negative Declaration (pursuant to Public Resources Code Section 21000 et seq., and CA Code of Regulations Section 15000 et seq.) has been issued on January 27, 2005 for this project. Mitigation measures are proposed to address geology are included as conditions of approval.			
<b>LAND USE CATEGORY</b> <b>Residential Single Family</b>	<b>COMBINING DESIGNATION</b> <b>None</b>	<b>ASSESSOR PARCEL NUMBER</b> <b>064-201-070</b>	<b>SUPERVISOR DISTRICT(S)</b> <b>②</b>
<b>PLANNING AREA STANDARDS:</b> Setbacks & Height Standards			
<b>EXISTING USES:</b> Vacant (graded site)			
<b>SURROUNDING LAND USE CATEGORIES AND USES:</b> <b>North: Residential Single Family/Residence      East: Rural Lands/Vacant</b> <b>South: Residential Single Family/Residence      West: Residential Single family/Residential</b>			
<b>OTHER AGENCY / ADVISORY GROUP INVOLVEMENT:</b> The project was referred to: <b>Cayucos Community Advisory Group, Public Works, Environmental Health, CSA Community Services District, California Coastal Commission</b>			
<b>TOPOGRAPHY:</b> <b>Steeply sloping</b>		<b>VEGETATION:</b> <b>grasses</b>	
<b>PROPOSED SERVICES:</b> Water supply: <b>CSA No. 10</b> Sewage Disposal: <b>Community sewage disposal system</b> Fire Protection: <b>Cayucos Fire Dept</b>		<b>ACCEPTANCE DATE:</b> <b>list date project was accepted for processing</b>	

ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE DEPARTMENT OF PLANNING & BUILDING AT:  
COUNTY GOVERNMENT CENTER ♦ SAN LUIS OBISPO ♦ CALIFORNIA 93408 ♦ (805) 781-5600 ♦ FAX: (805) 781-1242

## PROJECT HISTORY

A Variance was originally granted for the construction of a single family residence on this site in 1999. The CZLUO requires a variance to allow grading on slopes over 30%. Ownership of the project changed hands, grading commenced and was subsequently abandoned and the approved Variance expired. Adequate erosion control facilities were in place. The current owner has submitted a new variance application.

The previously approved variance was approved by the Board of Supervisors on appeal from a Planning Commission decision. The appeal issue was limited to where road improvements would be required. The Board required the improvements to Richard Ave to be to the north, toward Obispo Ave. This same Board condition is included the recommended conditions of approval of this variance.

## PROJECT ANALYSIS

### *Ordinance Compliance:*

<u>Standard</u>	<u>Allowed/Required</u>	<u>Proposed</u>
Setbacks		
Front	10'	10'
Side	3'	3'
Rear	5'	48'
Height	28'	28'

**PLANNING AREA STANDARDS:** The following sections discuss the planning area standards that apply to this project.

**Setbacks:** Setbacks for structures located within the Morro Strand Subdivision are: Front 10 feet, Side 3 feet, and Rear 5 feet. The project conforms to these setbacks. The front steps are allowed as proposed pursuant to CZLUO section 23.04.104 (Exceptions to Setback Standards).

**Height:** The Cayucos Urban Area Standards for Residential Single Family limit height to 28 feet from average natural grade. *This project complies with this standard at 28'.*

## COMBINING DESIGNATIONS:

### *Section 23.07.080 - Geologic Study Area*

The project site is located within a Geologic Study Area and a geologic report is required for hillside development proposals adjacent to Morro Bay and the Cayucos Urban Reserve Line. In February of 1999 an Engineering Geology Study was conducted on the site and results detailed construction methods to mitigate the impacts of slope.

A drainage and erosion control plan is required pursuant to Section 23.05.036 of the CZLUO

because construction will take place on slopes over 30 percent.

*Section 23.07.120 - Local Coastal Program*

The project site is located within the California Coastal Zone as determined by the California Coastal Act of 1976 and is subject to the provisions of the Local Coastal Plan.

**VARIANCE FINDINGS**

This variance request is for development on slopes over 30%. With every variance, staff must recommend support or denial of the variance request based on specific findings set forth in our adopted Local Coastal Plan. The following is a brief summary of that evaluation:

- a. *The variance authorized does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and land use category in which it is situated.*

All the parcels along the East side of Richard Ave. in this neighborhood have slopes greater than 30% and several are developed. New homes are also being constructed on the same side of Richard Ave. and have had variances approved for their development on the same hillside.

- b. *There are special circumstances applicable to the property, including size, shape, topography, location, or surroundings, and because of the absence of these circumstances, the strict application of this Title would/would not deprive the property of privileges enjoyed by other property in the vicinity and in the same land use category.*

The project is located on a site that is almost entirely on slopes in excess of 30 percent and the site would not accommodate development without disturbing steep slopes.

- c. *The variance does not authorize a use that is not otherwise authorized in the land use category.*

The land use category for the subject parcel is Residential Single Family, and the project does proposes an allowable use on the parcel.

- d. *The granting of such application does not, under the circumstances and conditions applied in the particular case, adversely affect the health or safety of persons, is not materially detrimental to the public welfare, and is not injurious to nearby property or improvements.*

The project will not adversely affect the public because it is the same use as exists on all developed parcels in the neighborhood. Road improvements will be constructed that will benefit the neighborhood.

**COASTAL PLAN POLICIES**

This project is in compliance with the Coastal Plan Policies, the most relevant policies are

discussed below.

**Public Works:**

*Policy 1: Availability of Service Capacity applies to the project.* The applicant has demonstrated that adequate public service capacities are available to serve the proposed project by submitting water and sewer will-serve letters.

**Coastal Watersheds:**

*Policy 7: Siting of new development:* The proposed project is inconsistent with this policy because the new residence will be located on slopes over 30%. However, since the subject property is on an existing lot of record, not allowing a single family residence, a principally permitted use in the Residential Single Family land use category, could potentially constitute a taking under the 5<sup>th</sup> Amendment of the US Constitution. Therefore, allowing a single family residence to be developed on the property is considered to be a reasonable use of the land.

*Policy 8: Timing of new construction:* The proposed project is consistent with this policy because the project is required to have an erosion and sedimentation control plan and all slope and erosion control measures will be in place before the start of the rainy season.

*Policy 10: Drainage Provisions:* The proposed project is consistent with this policy because the project is required to have a drainage plan that will not increase erosion or runoff.

**Visual and Scenic Resources:**

*Policy 5: Land-form Alteration:* The proposed project is consistent with this policy because grading, earthmoving, major vegetation removal and other land-form alterations within public view corridors will be minimized.

**STAFF COMMENTS:**

The rains have recently caused land movement on the adjacent and subject parcel. Additional geologic investigations are under way to determine the seriousness of the current situation. Staff will report the results of the investigation to the Commission on the day of the hearing.

**COMMUNITY ADVISORY GROUP COMMENTS:**

The Cayucos Citizen's Advisory Council's (CCAC) Land Use Committee has reviewed the subject project. The issues raised in the attached letter include site improvements, future changes to the approved plans, drainage, landscaping and ongoing problems in the neighborhood.

Staff notes that the planters and stairs in the front setback are allowed uses in the setback areas as long as they are under 30 inches in height; drainage will be addressed with the road improvement requirements placed on this development; final landscaping plans will be reviewed and approved and will be consistent with neighborhood concerns.

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**AGENCY REVIEW:**

Public Works- Requested road improvements  
California Coastal Commission - No comments

**LEGAL LOT STATUS:**

The 3 lots were legally created by a recorded map at a time when that was a legal method of creating lots.

## FINDINGS - EXHIBIT A

### Environmental Determination

- A. The Environmental Coordinator, after completion of the initial study, finds that there is no substantial evidence that the project may have a significant effect on the environment, and the preparation of an Environmental Impact Report is not necessary. Therefore, a Negative Declaration (pursuant to Public Resources Code Section 21000 et seq., and CA Code of Regulations Section 15000 et seq.) has been issued on January 27, 2005 for this project. Mitigation measures are proposed to address drainage and soils are included as conditions of approval.

### Variance

- B. The variance authorized does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and land use category in which it is situated because all the parcels along the East side of Richard Ave. in this neighborhood have slopes greater than 30% and several are developed. New homes are also being constructed on the same side of Richard Ave. and have had variances approved for their development on the same hillside.
- C. There are special circumstances applicable to the property, including size, shape, topography, location, or surroundings, and because of the absence of these circumstances, the strict application of this Title would deprive the property of privileges enjoyed by other property in the vicinity and in the same land use category because the project is located on a site that is almost entirely on slopes in excess of 30 percent and the site would not accommodate development without disturbing steep slopes
- D. The variance does not authorize a use that is not otherwise authorized in the land use category because the land use category for the subject parcel is Residential Single Family, and the project does proposes an allowable use on the parcel.
- E. The granting of such application does not under the circumstances and conditions applied in the particular case, adversely affect the health or safety of persons, is not materially detrimental to the public welfare, and is not injurious to nearby property or improvements, because the project is the same use as exists on all developed parcels in the neighborhood. Road and drainage improvements will be constructed that will benefit the neighborhood .
- F. The variance is consistent with the San Luis Obispo County General Plan.

### Coastal Access

- G. The proposed use is in conformity with the public access and recreation policies of Chapter 3 of the California Coastal Act, because the project is not adjacent to the coast and the project will not inhibit access to the coastal waters and recreation areas.

## EXHIBIT B - CONDITIONS OF APPROVAL

### Approved Development

1. This approval authorizes grading on slopes over 30% for the construction of an approximately 5,168 sq ft single family dwelling, 820 sq ft garage, 1458 sq ft of decks/verandas and road improvements on Richard Ave consisting of approximately 3450 sq ft of asphalt concrete pavement.
2. Site development shall be consistent with the approved site plan, floor plans and elevations.

### Height and Verification

3. **Prior to setting foundation forms** (and foundation inspection) the applicant's contractor shall call for a "building height point of measure verification" by setting a height point of measure stake and requesting a field verification by a county building inspector. **Maximum height is 26 feet 5 inches as measured from average natural grade.**

### Fire Safety

4. **Prior to issuance of a construction permit**, the applicant shall provide the County Department of Planning and Building with a fire safety plan approved by the Cayucos Fire Department.
5. **Prior to occupancy or final inspection**, which ever occurs first, the applicant shall obtain final inspection and approval from the Cayucos Fire Department of all required fire/life safety measures.

### Services

6. **Prior to issuance of construction permit**, the applicant shall provide a letter from the Department of Public Works stating they are willing and able to service the property.
7. **Prior to issuance of construction permit**, the applicant shall provide a letter from Cayucos Sanitary District stating they are willing and able to service the property.

### Public Works

8. **Prior to issuance of a construction permit**, the applicant shall comply with all of the requirements of the County Public Works Department, including improvements to Richard Ave. and a drainage plan.

### Environmental Mitigation

### Site Specific and Cumulative Geologic Impacts

9. **Prior to any site disturbance or issuance of grading permits or building permits,** the following conditions shall be included on all building plans and grading plans:
  - a. The project Geotechnical Engineer shall review and approve construction plans, including all plans for building foundations, excavation and cut slopes steeper than a 1:1 (45°) slope angle. The project Geotechnical Engineer shall submit written verification to the Department of Planning and Building that the plans within their area of expertise were reviewed and approved.
  - b. The project Geotechnical Engineer shall inspect work on-site and verify that all foundation work, grading and drainage has been performed in a manner consistent with the intent of the plan review and geotechnical engineering report.
  - c. Should the services of the project Soil Engineer be terminated prior to final inspection and/or issuance of occupancy permits, the applicant shall submit a transfer of responsibility statement to the County Planning Department from the new Geotechnical Engineer as per the Uniform Building Code.
  - d. A final report prepared by the project Geotechnical Engineer shall be submitted to the County's field inspector stating that all work performed is suitable to support the intended structure. Such report shall include any field reports, compaction data, etc..
  - e. The applicant shall implement all recommendations in Observation and Testing Programs prepared by project Civil Engineer(CE)(s), and/or Geotechnical Engineer(RGE)(s). The Observation and Testing Program may include, but not be limited to any of the following tasks:
    - i. Review of Final Project Plans - RGE/CE
    - ii. Review of stripping and clearing of vegetation - CE/RGE
    - iii. Review of cut and fill slopes - cut slopes: CE/RGE
    - iv. Review of preparation of soil to receive fill - CE/RGE
    - v. Review of fill placement and compaction - CE/RGE
    - vi. Review of subsurface drainage control - RGE/CE
    - vii. Review of footing excavations - CE/RGE
    - viii. Review of premoistening of subslab soils - CE/RGE
    - ix. Review of erosion control measures - CE/RGE
10. **During project construction/ground disturbing activities,** the applicant shall retain a Geotechnical Engineer of record and shall provide a written certification of adequacy of the proposed site development for its intended use to the Department of Planning and Building.
11. **Prior to occupancy or final inspection, whichever occurs first,** the Geotechnical Engineer of record shall verify that construction is in compliance with the intent of the Engineering Geology Report (Geosolutions; February 1999). The Geotechnical Engineer shall verify that the Reports' recommendations have been incorporated into the final design and construction. This verification shall be submitted in writing to the



Department of Planning and Building for review and approval.

**Site Specific and Cumulative Drainage Impacts**

12. **Prior to any site disturbance or issuance of grading permits or building permits,** the applicant shall submit a Sedimentation and Erosion Control Plan, prepared and signed by a Registered Civil Engineer, that addresses both temporary and long-term sedimentation and erosion control measures. The plan shall include but not be limited to the following measures:
  - a. Slope surface stabilization: Temporary mulching, seeding or other suitable stabilization measures approved by the County Engineer shall be used to protect exposed erodible areas during construction. Earth or paved interceptors and diversions shall be installed at the top of cut or fill slopes where there is a potential for erosive surface runoff.
  - b. Erosion and sedimentation control devices: In order to prevent sedimentation discharges, erosion and sediment control devices shall be installed as necessary for all grading and filling. Control devices and measures may include, but are not limited to, energy absorbing structures or devices to reduce the velocity of runoff water.
  - c. Final erosion control measures: All surfaces disturbed by vegetation removal, grading, or other construction activity are to be revegetated to control erosion within 30 days after completion of grading, unless the graded areas are covered with impervious or other improved surfaces authorized by approved plans.
  - d. Control of off-site effects: All grading activity shall be conducted to prevent damaging effects of erosion, sediment production and dust on the site and on adjoining properties.
13. **Prior to any site disturbance,** the applicant shall submit to the County a Drainage Plan, prepared by a Registered Civil Engineer, that evaluates: 1) the effects of the project's projected runoff on adjacent properties and existing drainage facilities and systems; and 2) estimates of existing and increased runoff resulting from the proposed improvements
14. **Prior to occupancy or final inspection, whichever occurs first,** the Registered Civil Engineer shall verify that the recommendations of the Drainage Plan and the Sedimentation and Erosion Control Plan have been incorporated into the final design and construction. This verification shall be submitted in writing to the Department of Planning and Building for review and approval. If required by the County Engineer, the applicant shall execute a plan check and inspection agreement with the County, so the drainage, sedimentation and erosion control facilities can be inspected and approved before a certificate of occupancy is issued.

### **Road Improvements**

15. Roads and/or streets to be constructed to the following standards:
  - a. Richard Avenue constructed to an A-1 (rural) section within a 50 foot dedicated right-of-way, fronting the property, minimum paved width to be 20 feet.
  - b. Richard Avenue constructed to an A-1 (rural) section within a 50 foot dedicated right of way from the property to the nearest County-maintained road to the north (minimum paved width to be 20 feet).
  - c. Improvement plans shall be prepared in accordance with San Luis Obispo County Improvement Standards and Specifications by a Registered Civil engineer and submitted to the County engineer and County Health Departments for approval. The plan to include: (a) Street plan and profile; (b) Drainage ditches, culverts, and other structures (if drainage calculations require); (c) Erosion control plan for related improvements locations; (d) Public utilities.
  - d. The engineer, upon completion of the improvements, must certify to the County Engineer that the improvements are made in accordance with Subdivision Review Board/Planning Commission requirements and the approved plans.
  - e. All public improvements (roads, drainage, utilities) shall be completed prior to occupancy of any structures being granted.
  - f. Prior to issuance of any construction permit the applicant shall enter into an agreement with the County (in a form acceptable to County Counsel) to provide security to guarantee performance of the public improvements required above.

### **Construction Phase**

16. During construction, the applicant agrees to the following:
  - a. all vehicles associated with construction shall park legally and shall not block access to other properties.
  - b. Music shall be kept to a volume such that it is not audible at off site residences.
  - c. All domestic pets shall remain secured at all times.

### **Miscellaneous**

15. **Prior to issuance of a construction permit**, the applicant shall pay all applicable school and public facilities fees.
16. **Prior to occupancy of any structure associated with this approval**, the applicant shall contact the Department of Planning and Building to have the site inspected for compliance with the conditions of this approval.
17. This permit is valid for a period of 24 months from its effective date unless time

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extensions are granted pursuant to Land Use Ordinance Section 22.02.050.

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AG

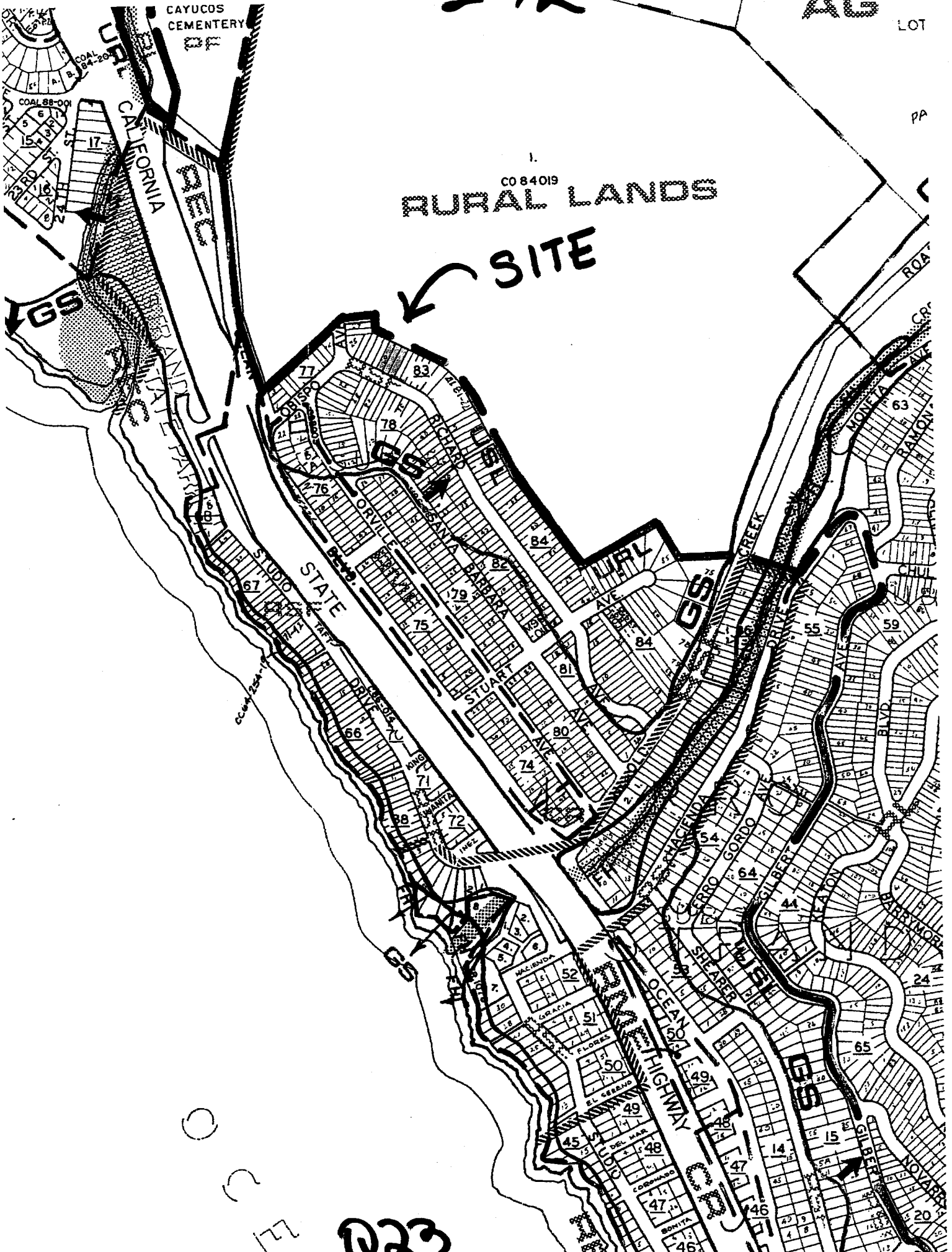
LOT

PA

CO 84019

RURAL LANDS

SITE



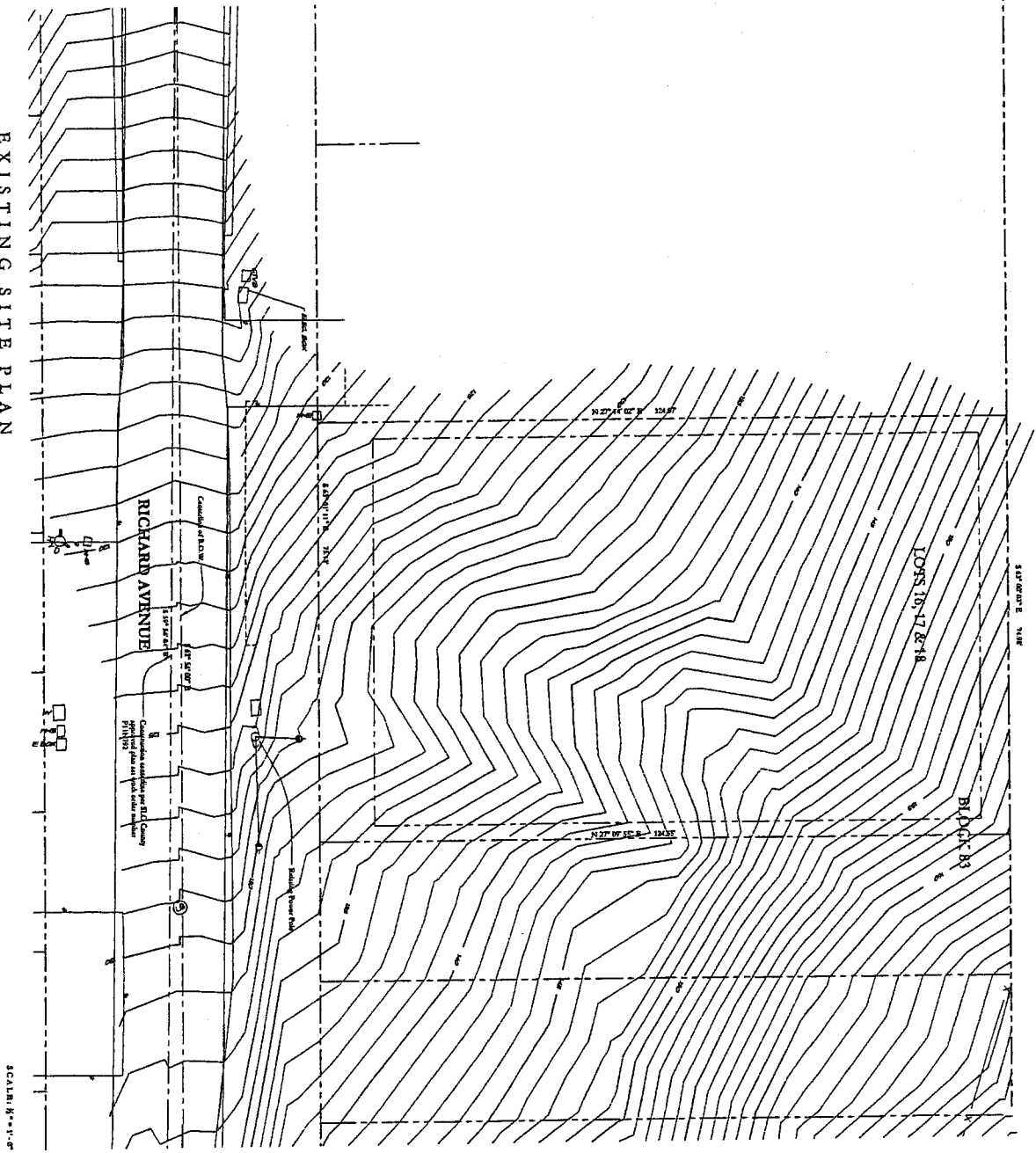
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CAYUCOS, CALIFORNIA

**13 Total Spacing**

These drawings and related specifications are prepared for the use of the client and are not to be construed as a contract. All drawings shall be approved by the client prior to proceeding with work. The Contractor shall verify all dimensions and existing conditions. All dimensions shall be reported to the Architect prior to proceeding with work.

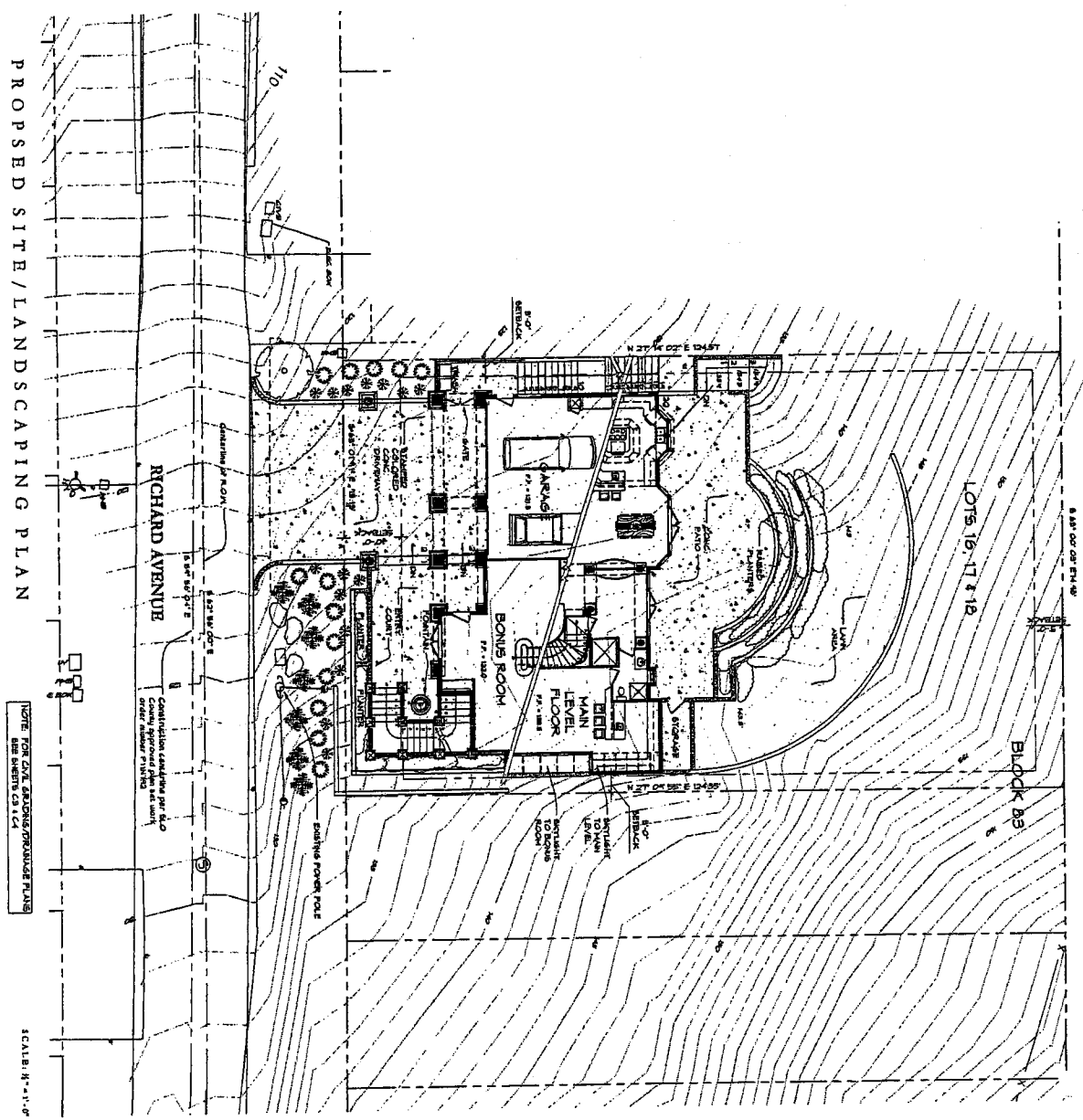
EXISTING SITE PLAN



SCALE: 1/4" = 1'-0"



These drawings and related specifications are representations of services and are not and shall remain the property of SCOTT JAY SHAW ARCHITECT. All designs and other information on these drawings are for the use on this specific project and shall not be changed, reused, or relied on on other projects without the expressed written permission of SCOTT JAY SHAW ARCHITECT. The Contractor shall verify all dimensions and existing conditions. All discrepancies shall be reported to the Architect prior to proceeding with work.









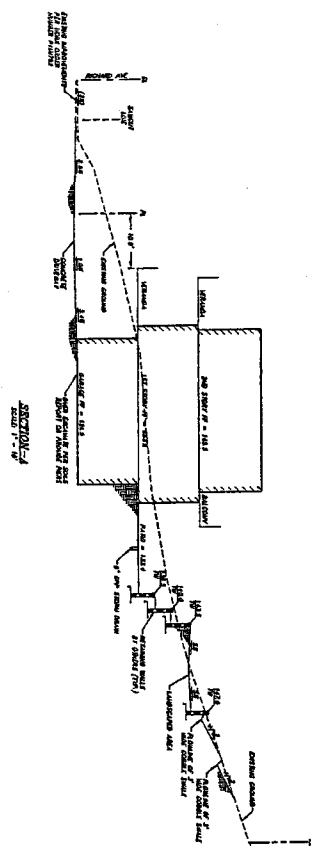
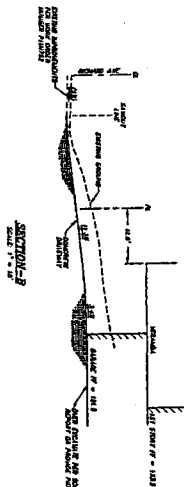
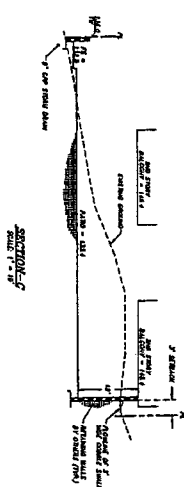
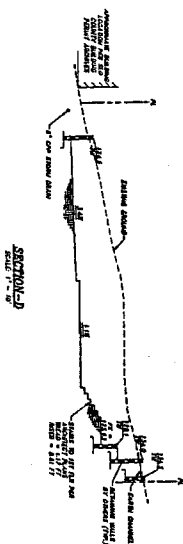
PROPOSED SITE/LANDSCAPING PLAN

NOTE: FOR CIVIL GRADINGS/DRAINAGE PLANS  
SEE SHEETS C3 & C4

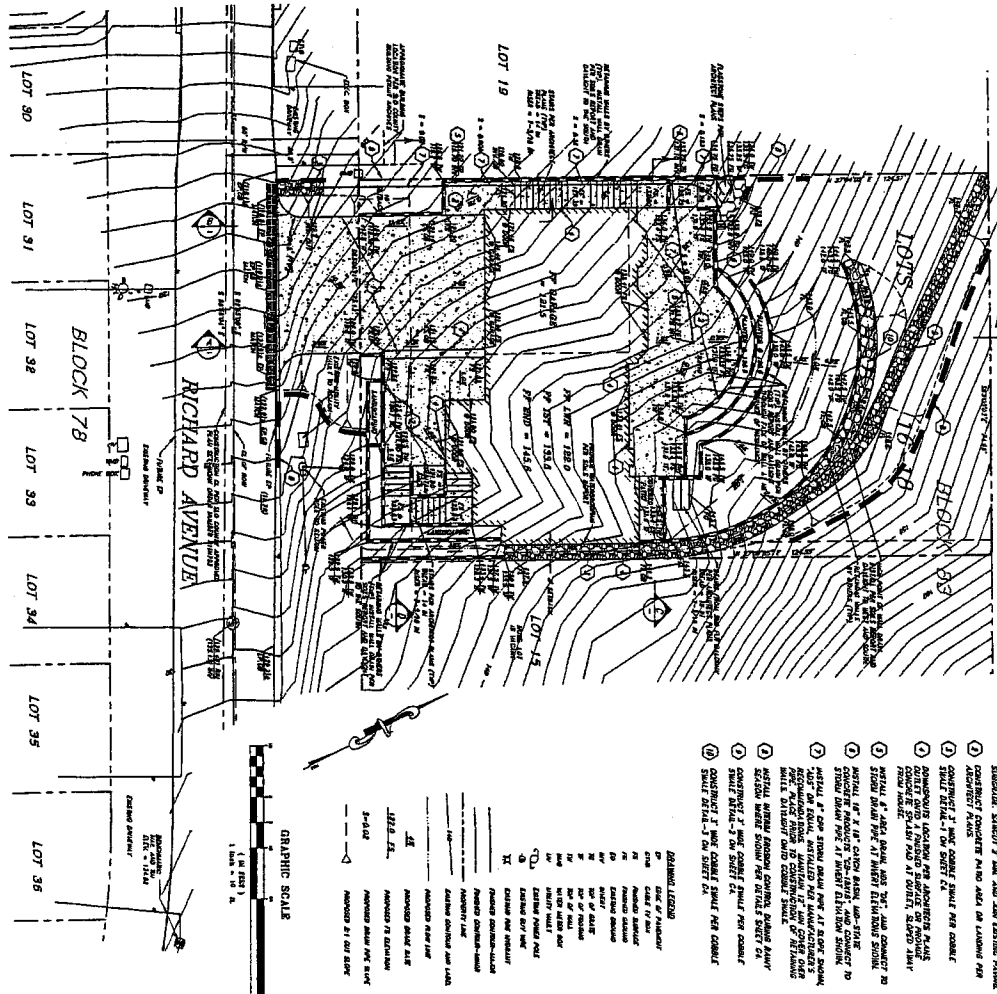
SCALE: 1/4"=1'-0"

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- LANDSCAPE LEGEND**
-  Small Group-Isolated Forest Patch
  -  Medium Size Group-Isolated Forest Patch
  -  Large Group-Isolated Forest Patch
  -  Group-Isolated Wetlands
  -  Landscape Islands
  -  Medium Size Trees
- ALL LANDSCAPES PER COUNTY PROBABLY  
TO BE THE SAME**



**SPECIAL NOTES:**  
1. NO ALTERATION SHALL BE PERMITTED FOR THIS PROJECT.  
2. EXISTING DRAINAGE SHALL BE MAINTAINED AND NOT CHANGED.  
3. PROPOSED DRAINAGE SHALL BE 12 INCHES.



- CONSTRUCTION LEGEND:**
- ① CONSTRUCT 12 INCH CONCRETE GUTTER 12 INCHES WIDE AND 12 INCHES DEEP.
  - ② CONSTRUCT 12 INCH CONCRETE CURB 12 INCHES WIDE AND 12 INCHES HIGH.
  - ③ CONSTRUCT 12 INCH CONCRETE GUTTER 12 INCHES WIDE AND 12 INCHES DEEP.
  - ④ CONSTRUCT 12 INCH CONCRETE CURB 12 INCHES WIDE AND 12 INCHES HIGH.
  - ⑤ CONSTRUCT 12 INCH CONCRETE GUTTER 12 INCHES WIDE AND 12 INCHES DEEP.
  - ⑥ CONSTRUCT 12 INCH CONCRETE CURB 12 INCHES WIDE AND 12 INCHES HIGH.
  - ⑦ CONSTRUCT 12 INCH CONCRETE GUTTER 12 INCHES WIDE AND 12 INCHES DEEP.
  - ⑧ CONSTRUCT 12 INCH CONCRETE CURB 12 INCHES WIDE AND 12 INCHES HIGH.
  - ⑨ CONSTRUCT 12 INCH CONCRETE GUTTER 12 INCHES WIDE AND 12 INCHES DEEP.
  - ⑩ CONSTRUCT 12 INCH CONCRETE CURB 12 INCHES WIDE AND 12 INCHES HIGH.

NOT FOR CONSTRUCTION

**SCOPE OF WORK:**  
THE DESIGN, DRAINAGE AND EROSION CONTROL PLAN FOR THE PROJECT. THE DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO SPECIFICATIONS FOR DRAINAGE AND EROSION CONTROL. THE DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO SPECIFICATIONS FOR DRAINAGE AND EROSION CONTROL.

**DISCLAIMER NOTES:**  
THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN.

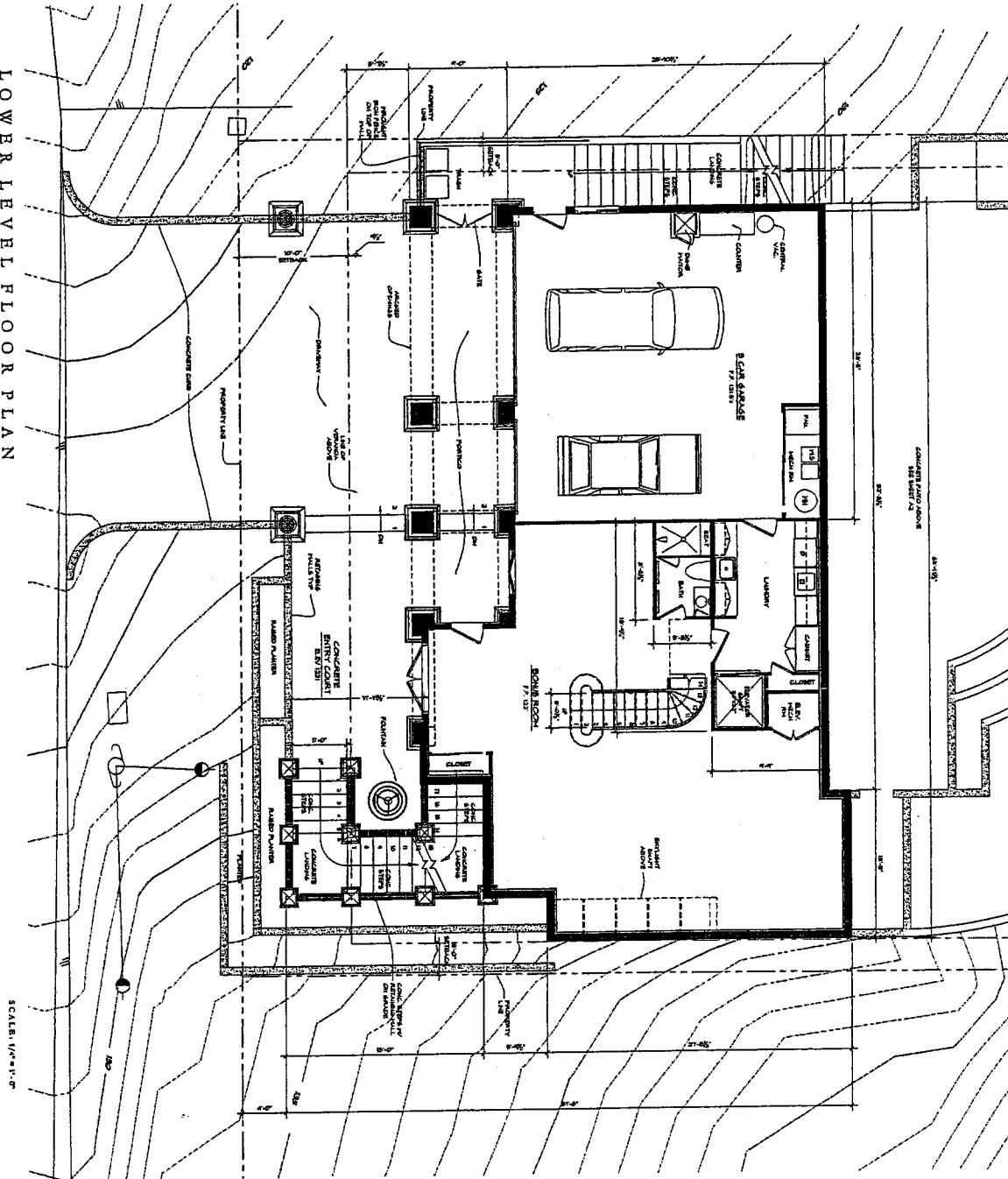




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These drawings and related specifications are representations of services and are not to be construed as a contract. All dimensions shall be subject to the architect's prior to proceeding with work. The Contractor shall verify all dimensions and existing conditions. All dimensions shall be subject to the architect's prior to proceeding with work.

LOWER LEVEL FLOOR PLAN



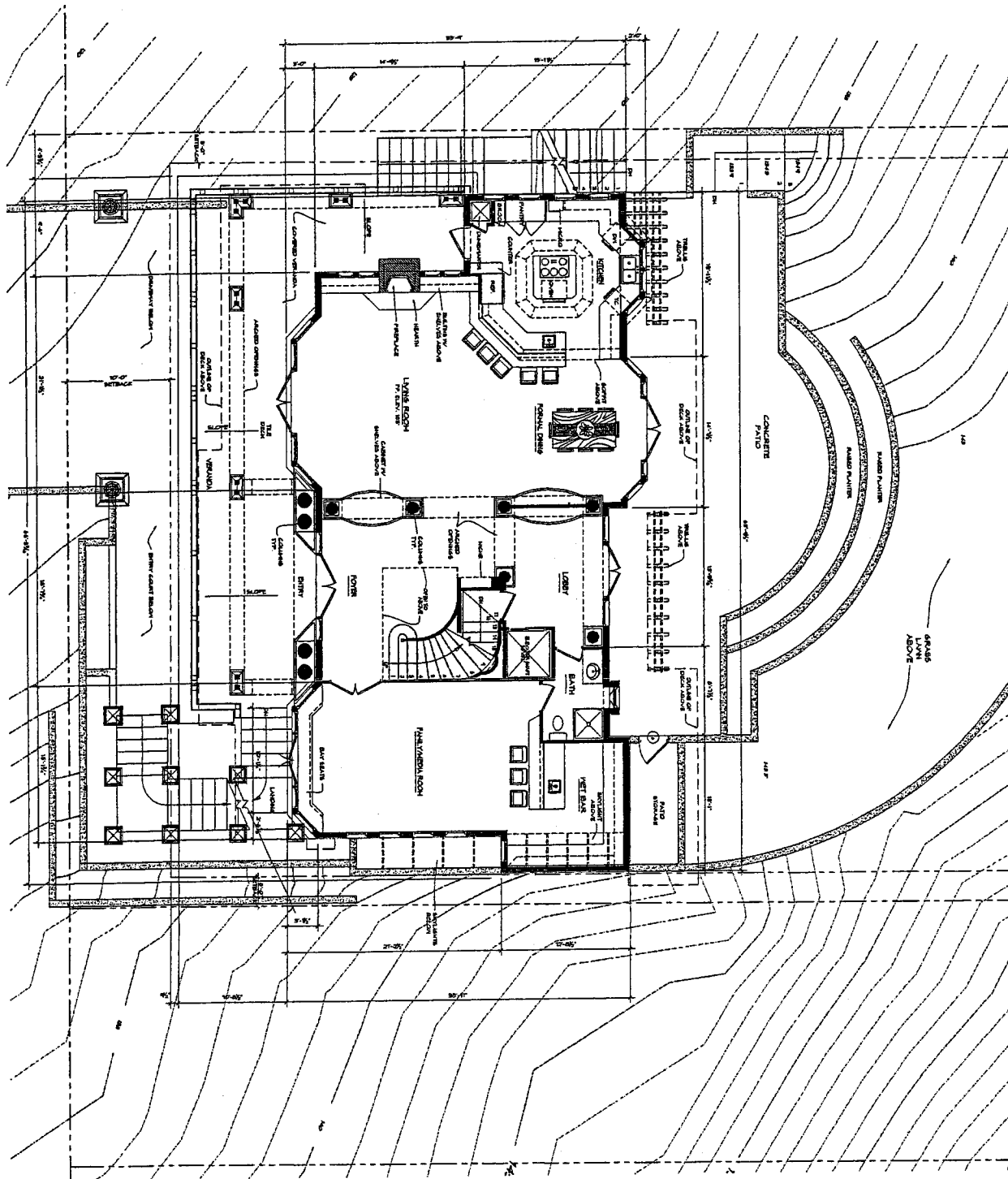
PARTIAL BUILDING DATA

Garage Area	2000 sq. ft.
Bedroom and Living Area	1000 sq. ft.
Total Area	3000 sq. ft.

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These drawings and related specifications are instruments of service and are not shall remain the property of SCOTT JAY BARNY ARCHITECT. All designs and other information on these drawings are for the use on this specific project and shall not be changed, copied, or without the express written permission of SCOTT JAY BARNY ARCHITECT. The Contractor shall verify all dimensions and existing conditions. All discrepancies shall be reported to the Architect prior to proceeding with work.

MAIN LEVEL FLOOR PLAN



SCALE: 1/8" = 1'-0"

PARTIAL BUILDING DATA

Living Area	10,234 sq. ft.
Conditioned Ventilation Area	10,234 sq. ft.
Total Area	24,424 sq. ft.

MAIN LEVEL FLOOR PLAN

MAIN LEVEL FLOOR PLAN

SCALE 1/8" = 1'-0"

CAMERON REALTY PARTNERS

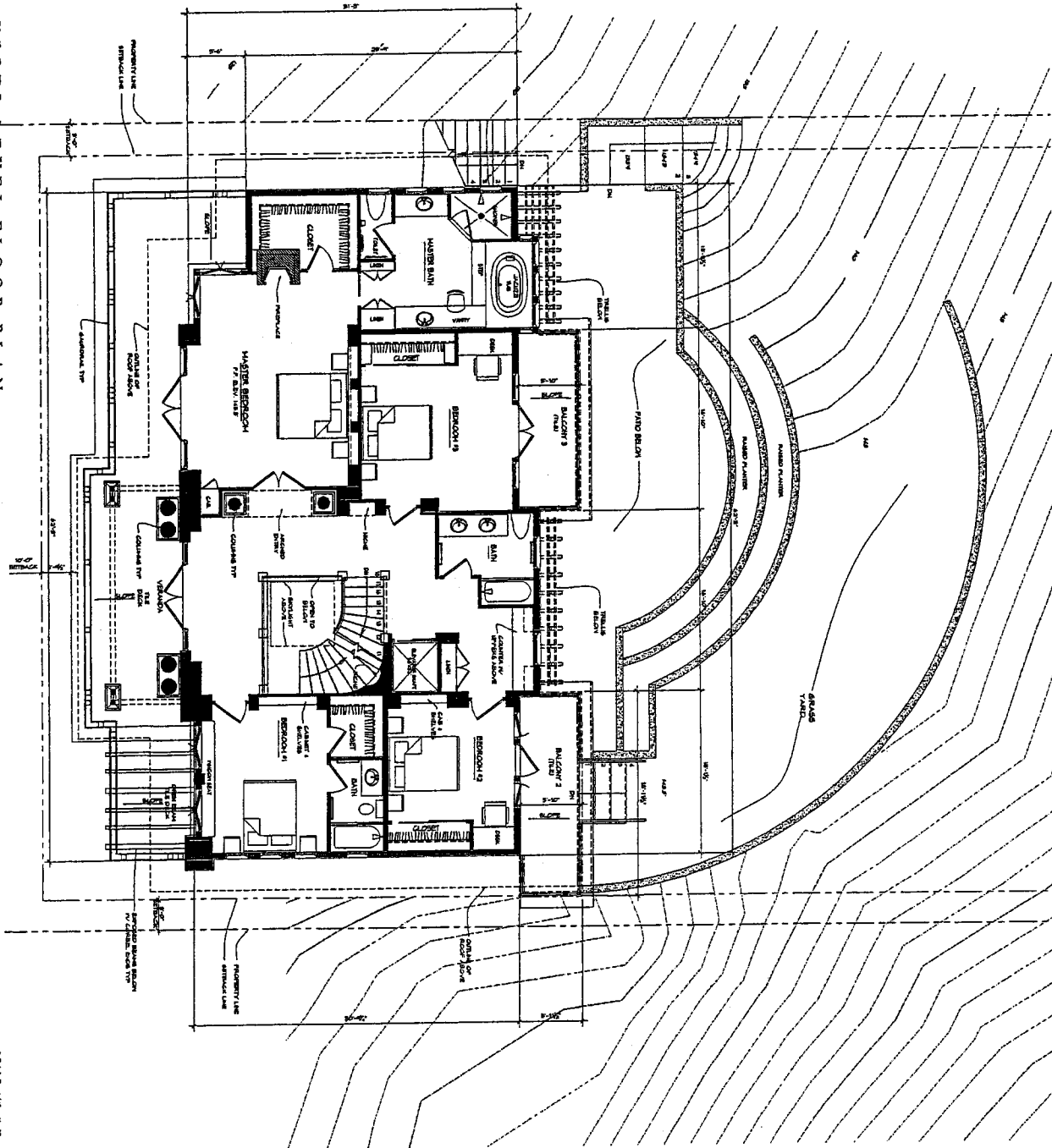
RICHARD STREET RESIDENCE



2-20

These drawings and related specifications are prepared by or on behalf of SCOTT JAY SMITH ARCHITECT. All designs and other information on these drawings are for the use of the client and shall not be used for any other purpose without the expressed written permission of SCOTT JAY SMITH ARCHITECT. The Contractor shall verify all dimensions and existing conditions. All discrepancies shall be reported to the architect prior to proceeding with work.

UPPER LEVEL FLOOR PLAN



PARTIAL BUILDING DATA

DATE:	10/10/11
PROJECT:	10/10/11
CLIENT:	10/10/11
DESIGNER:	10/10/11
CONTRACTOR:	10/10/11
TOTAL AREA:	2,100 S.F.

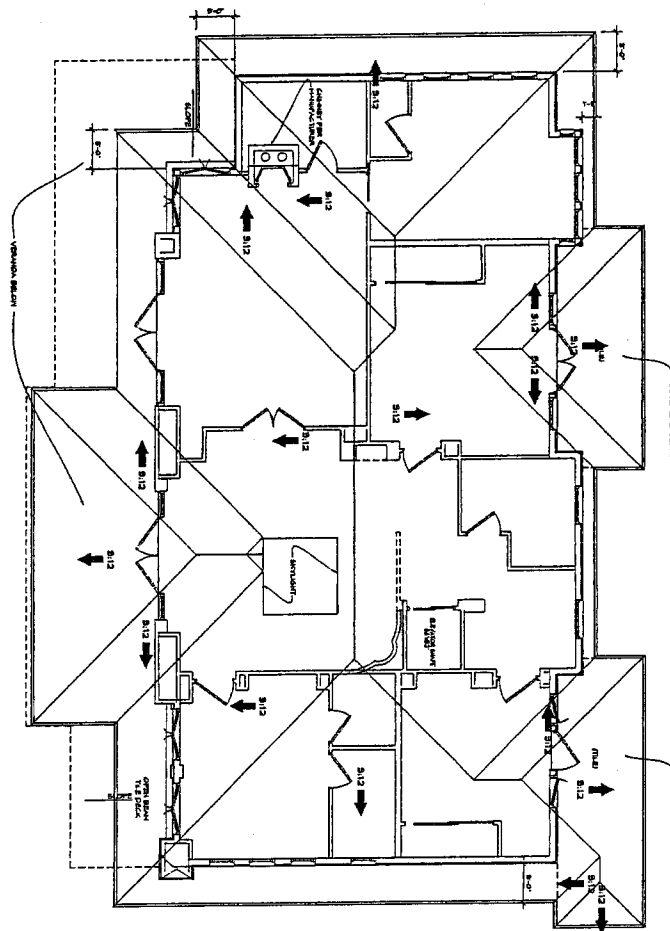
SCALE: 1/4" = 1'-0"

UPPER LEVEL FLOOR PLAN

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These drawings and related specifications are for information only and shall remain the property of SCOTT JAY SMARY ARCHITECTS. All designs and other information on these drawings are for the use on this specific project and shall not be changed, copied, or used in any other project without the expressed written permission of SCOTT JAY SMARY ARCHITECTS. The Contractor shall verify all dimensions and existing conditions. All discrepancies shall be reported to the architect prior to proceeding with work.

ROOF PLAN



SCALE: 1/4" = 1'-0"





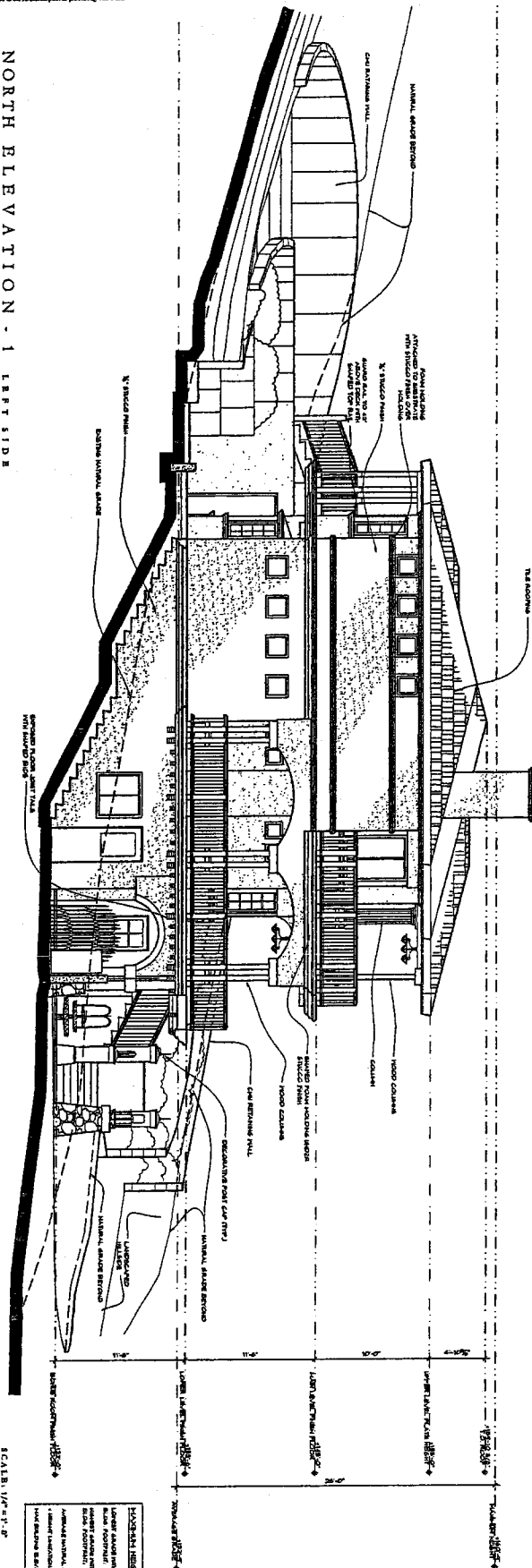
**POSSIBLE HEIGHT CALCULATIONS:**

Lowest value noted	13.00'
Mean Footprint	13.15'
Highest value noted	13.30'
Mean Footprint	13.15'
Lowest value noted	13.00'
Highest value noted	13.30'
Mean Footprint	13.15'
Lowest value noted	13.00'
Highest value noted	13.30'
Mean Footprint	13.15'

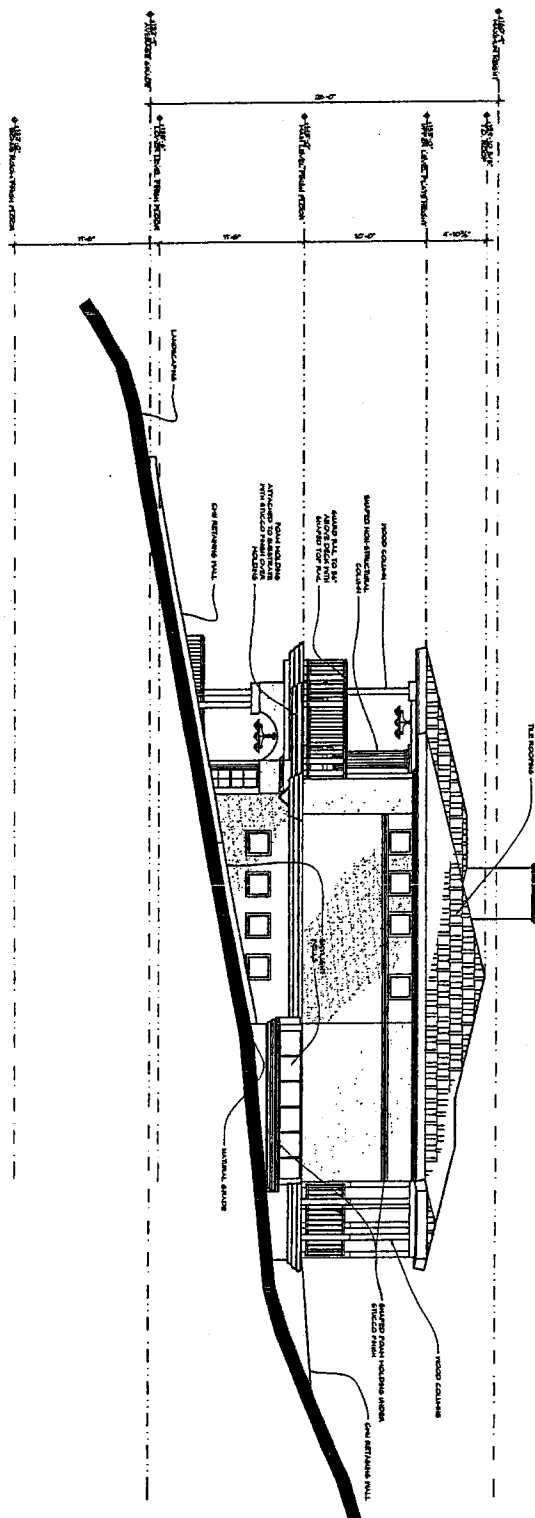
$V = V_1 - V_2$

**SCALEB, 1/4"=1'-0"**

NORTH ELEVATION - 1 LEFT SIDE



SOUTH ELEVATION - 1 RIGHT SIDE



SCALE, 1/4"=1'-0"

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# Cayucos

## Land Use Committee

### MEMO

TO: James Caruso

FROM: Mary Ann Carnegie *Mary Ann Carnegie* 995-3659 or email ecarnegi@calpoly.edu

DATE: 12/8/04

RE: Fiero/Cameron Realty Partners D020302V  
2625 Richard Avenue. APN 064-201-070

This is as a follow-up report for the above noted project, and as per the discussions of the Land Use Committee.

This project is requesting a variance to build a SFR on steep hillsides of over 30%, on a triple wide lot (75'). The proposed buildable area is 7,447.37 sq ft, with a residence of 5168 sq. ft. This project will also be required to construct and improve the road on Richard Avenue from the construction site, down the hill, to Obispo Ave.

#### Concerns:

Though a seemingly simple project, there are several concerns regarding this project, by the Land Use Committee, the Advisory Council, and several of the surrounding neighbors. Some stem from any standard building project, but based on the track record of this particular client and their builders on the southern end of Richard, taking place over the last 2.5 years, many additional concerns and conditions for this project have been strongly recommended. Hopefully they will be enforced to assist in the safety and better working relations with the neighborhood for this particular project. Some of the concerns are listed below, as well as having attached copies of letters from some of the surrounding neighbors, & a CD disk to further support these concerns that surrounded another project by Mr. Fiero/Cameron Associates on 2741 Richard Ave. D990202V:

- **Overall Plan**—the project seems to follow all standards and guidelines in the way of front (10ft.) , side (3ft) and rear setbacks (5ft.), as well as for a maximum height of 28 ft. being allowed, and only requesting 26'5". We would just like to make sure they are maintained and followed.
- a question of concern was regarding the retaining walls, & stairs in the front of the home. It is our understanding that
  - a) NO IMPROVEMENTS SUCH AS STAIRCASES OR DECKS SHALL BE LOCATED WITHIN THE TEN FOOT FRONT SETBACK
  - b) RETAINING WALLS SHALL NOT EXCEED 30 INCHES ABOVE FINISH GRADE WITHIN THE BUILDING SETBACK/YARD AREAS AND PUBLIC RIGHTS OF WAY—the plans appear to show that this is being exceeded and that they are definitely in the road right of way.



The Land Use Committee & Advisory Council have always recommended that NO permanent structures be located in the road right of way, and especially on a highly impacted street such as Richard, or on any of the steep hillside streets, where safety access often is a major concern, and since parking becomes very impacted on both sides of the road, and is even evident more so now, as in-fill construction is taking place. This condition will only become heightened over time, so putting measures into place now, in hopes of preventing this hazard before it happens, seems the best logical tactic to enforce when able to do so from the get go.

It likewise appears that several variations of landscaping (small-large plantings) as well as boulders, will also be located in the road right of way. This again seems to provide a safety hazard on a narrow, highly impacted street when parking is and continues to become a bigger concern for all. Maneuvering the road becomes an obstacle course many times with a narrow road. Again, based on past history, huge hundred foot palm trees were planted in the road right away, &/or along the sides of the home, fell or blew down, and were then tethered down on posts, or even on the guide wires of PGE poles, within the surrounding properties. The committee strongly recommends that obstructions NOT be allowed in the road right of way for safety reasons alone.

- **Possible Change of Plans**—based on the past history of this project and its constant change of ownership, etc., as well as all the noted changes in the current project being done at 2741 Richard Ave., we would like to make sure that that though minor modifications can and do occur as a project progresses, that any major changes be brought back to the Land Use Committee. The only reason this is brought up is based on history, and the ad in the paper already for the home for sale with plans that do not match the submitted plans for approval. See attached photo of the ad to show case in point.
- **Drainage Plan**- drainage that flows from the sides, appear to divert all subterranean flow to the adjacent neighboring side lots. Would like to show **Cumulative Drainage** effects- the somewhat tall retaining walls at the back of the home would seem to disperse drainage to the sides and thus onto neighbors property. The drainage plan should encourage the builder to capture all runoff from above, and what will be generated with the proposed project, as soon as possible, divert it away from cut and fill slopes, and then safely convey it in a non-erosive manner. This is & has usually been done by sending it to the street. Therein lies the problem, in that this "day-lighting" drainage occurs on a pretty steep downhill slope of the road. This water, along with that from several other homes on Richard, in that vicinity, will accumulate, run downhill to the southwest, where it will mostly all dump into the neighbors lots, and cause severe erosion and flooding. This is currently occurring, and will only worsen for the neighbors below this project, as another home is being added to the existing problem, unless other drainage measures are put into place. The water flow will become even more concentrated at this point and could and will severely impact adjacent and downstream residents. The neighbors continually witness this from the previous projects on Richard. With each new home built the cumulative effect only magnifies. The drainage issue is always of great concern on the hillside. The one neighbor to the immediate north of this project is also quite concerned about the building, drainage on the sides of the home, and damage that may be incurred on his property during construction. They would like to make sure that any and all damages would be repaired by the builder.

- **Visibility of raised planters behind the building:** from the frontal view the retaining walls certainly appear to be below the roofline and of allowable height; however, the concern is to make sure that there won't be steep walls to look at from either the sides, or from front on the road below. It appears that they will be camouflaged by the grassy areas, and landscaping, but would like to have verified. Perhaps temporary stakes could be placed where these walls would be, thus indicating exactly what the height, etc. would be so that the neighbors could better visually see and comprehend the possible impact, if any.
- **Landscaping/screening.** Not sure what is being proposed, but applicants have said they will use plants to assist in the reducing visibility of walls, which all would appreciate. It was indicated that NO TALL junipers, trees, or the like be planted to potentially further block view-sheds from the surrounding properties. It was also brought out that plant selection should be of a source that would provide the least amount as a possible fuel source, with the dry hillsides faced throughout the majority of the year. It was also re-suggested that no boulders or landscaping be allowed in the road right of way.
- **Other cumulative concerns for this particular project, by several surrounding neighbors based on the current track record of building:** Because this particular builder recently built, and is still in some minor construction, many of the surrounding neighbors have had several other concerns that hopefully could be addressed or worked on together in a better way with this particular project. These past few months/two years a lot of construction has taken place on Richard. Currently there are two projects under full construction. Mr. Fiero had had one under construction for over 24 months, and during that same time three other homes were being constructed at the same time on Richard. As a result, the neighborhood was constantly subjected to a vast number of construction inconveniences, and as a whole took them in stride knowing they were temporary and very necessary for construction to be carried out. However, some conditions endured were completely unjustified. As a result, the neighbors have brought these forward to hopefully ensure that existing property owners are not subjected to these totally unnecessary construction issues and violations of approved permits. They also want to be ensured that common respect for one another is given in order to help guarantee accountability of owners and contractors. These concerns became especially evident when experiencing several building projects simultaneously, and based on the lack of cooperation, and consideration for the neighborhood by the builders and owners of their previous project. Two of the neighbors have written letters of their concerns and are attached as well for general information, and back up of the problems/concerns encountered.
- Since a part of Richard Ave. is still a private road, now mostly to the south of the proposed construction site, and thus suffers from a lack of normal road maintenance, heavy construction vehicles that must make tight turns, and park on surfaces that are not designed to handle their load, will only further destroy the privately funded and limited road surface. Almost in every instance, significant road damage occurs to surfaces in front of adjacent properties that are not a part of the new construction. Though heavy construction equipment is certainly a requirement for building, the cost of doing business should include respect for other property and should include repairing any damage associated with the new construction. Heavy construction vehicles of this owner's previous project to the north of the private section of Richard Ave. over the past twenty-

four months had caused substantial additional damage to the road, but no repairs were ever made. It is hoped that the applicants would make those improvements, but to date there has been no friendly indication. Perhaps a bond should be required at the time the permit is issued for building to cover ANY damages incurred, not just on the construction site, but on adjacent, nearby sites as well, as a result of any construction. Why should established homeowners have to repair damages incurred by incoming heavy construction vehicles, and especially when transversing a private road? It is also our understanding that a condition for the road improvement is to be placed on this project as part of its approval. It will be the responsibility of the builder/owner to make all road improvements on Richard Ave. from that property fronting his property to the nearest county maintained road. In order to prevent this from not happening, as happened in the past, it was requested and approved for this parcel that a performance bond would be placed on this project to guarantee that such will take place indeed. This was placed as a original condition on the original property owned by Mr. Steinman, and should be maintained

- Often times during construction, it would be nice for neighbors to be able to have a contact number to call in the event of any number of job site concerns. Some contacts might include the property owner, developer, and County personnel, depending on what the concern might be. Notification could be in the form of a mailer or posting on the job site so that should an issue such as safety, vandalism, trespassing, etc. arise, interaction could take place more readily and perhaps help in fostering a greater partnership with all parties concerned.
- While it is a realistic expectation that a construction project will have some impact on parking and road access, much of it can be avoided by limiting the number of construction vehicles per job site. A balance needs to be achieved. Based on the past history of construction sites on Richard, and of this builder in particular, a vast number of vehicles have been brought to each site. Several times this builder alone, had 9-11, and towards the end of construction even 20 vehicles parked on site all day, for several days. Often times some would park in a very unsafe manner, in the middle of the street, blocking the street, two to three feet away from the side of the road, in front of a fire hydrant, and then on the wrong side of the street where it was clearly posted NO parking. Yet to park there, workers just picked up the sign and moved it and/or eventually removed it completely. As a result, normal flow of traffic was often prevented, residents of Richard were often unable to even gain access to their homes, and the abundance of construction vehicles and parking inhibited the efforts of emergency personnel to get to where they needed to go on Richard. Therefore, neighbors on Richard would like to see the number of vehicles limited to each site--a fair number would be 2-4 per household. At the base of the hill, only 3 blocks away, either north or south is plentiful parking--the cemetery proper/ as well as a huge empty lot on the corner of Old Creek and Ocean. When, and if multiple construction vehicles would be needed, they could drive to the site, drop off items, drive back to park and walk back or ride share back to the construction site.
- Require that all vehicles connected with the job site adhere to the law and standard parking ordinances, such as parking in a manner that allows other vehicles to pass at all times, park on the legal side of the street, and park in a manner that does not block the driveway of other residences. Prior to construction beginning on this builders previous

project on Richard, the county had installed NO PARKING signs on the uphill side of the street from the corner of Stuart and Richard to just north of the project's site, as this was the newly designated county maintained road. A few months after construction began, the sign mysteriously was removed and placed a few feet south of the building site, appearing to solely validate construction people being able to park directly in front or near the construction site. The sign was often just lying on the side of the hill, but after several calls into the county to hopefully enforce this it was put up again, but south of the site. Because construction parking often presented safety concerns and hazards the CHP had to be called several times to assist in resolving the problems. The neighbors tried several times to discuss with construction workers but were more or less told that they (construction workers) can park and do as they please. The neighbors would really appreciate more respect and trying to work together to make the building experience more enjoyable for all.

- We would also request that heavy construction equipment should not be left on site during the construction period. However, if it must be for short periods of time, which we can understand, we would like to see this equipment parked in a safe manner. Any site disturbance done to neighboring properties, those property owners must be notified, and if any changes occur on these properties they will be restored to their natural or original state.
- Un-contained trash should not be left on and around the job site. Not only is this unsightly, but it usually blows throughout the neighborhood. The need for trash receptacles, on the job site, to prevent debris from disseminating throughout the neighborhood, needs to be enforced, and these receptacles need to be emptied in a timely manner and should not be left on-site when located in the road right-a way for several days. This can become a hazard on the narrow street and especially at night when visibility is even impaired more.
- Unleashed animals brought to the site are illegal and negatively affect the neighborhood. Pets are not a requirement for construction and thus should not be introduced into an environment that is an already impacted environment.
- All building materials, as well as port-a-potties, that are necessary for the building site when off-loaded, & stored on the construction site, should not be on any portion of the road, or on neighboring properties, unless approval is obtained from the neighbor affected. In the past, this has been done without seeking prior approval, & under the excuse that it was just easier for the construction workers to have it located other than where they were working & would haul it in at their convenience, or as needed instead. Off loading in the road also presents several safety hazards/issues. Placing items on neighboring properties is trespassing & disrespectful of neighboring property if done without obtaining permission.
- Notification of having the road closed, and for what length of time would be requested by the property owners on the areas to be affected. This becomes especially important to know with having construction taking place simultaneously at the north end and south end of Richard. This past year the current builder had the road closed an insurmountable amount of times. Though we know that during construction this can and will happen it would be nice to be notified of when, rather than be caught in the middle with no where to go. Closing the road one or two times almost on a weekly basis these past two years

became a bit much for all the neighbors. As a result of these numerous closures, deliveries were not made, or had to be rescheduled, mail was not delivered, the ability to come and go became far more than a challenge not only with vehicles, but for people to even walk past the site. Again safety became an issue for everyone, as well as being able to get an emergency vehicle to various homes, especially when the road became blocked for several hours. And again the CHP had to be called several times to intervene since cooperation was not extended by the owners and builders to the neighbors. We also know the CHP has more important things to do than police the neighbor.

- **No Loud Music** or other electronic entertainment noise will be allowed. Volumes should be within reasonable, allowable decibels. And **all construction shall follow the rules** established within the county for day and hours allowed.

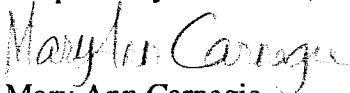
Thank you for taking the time to hear our thoughts as were brought forth by concerned neighbors to the Land Use Committee, and further discussed at the Advisory Council. The committee especially felt strong about enforcing the guidelines, clarifications and the enforcement of certain conditions placed on this new permit. These are offered mainly as a means to hopefully help in reducing unnecessary conflicts, and to hopefully see them included in the staff report recommending approval for this project.

#### **Recommendations:**

The Land Use Committee appreciates very much being notified of the current project especially based on its past history of change in ownership and thus several plan revisions, and also with the proposed builder having a track record of currently building on another site on Richard Ave which has caused much concern for the surrounding neighbors over the past two years of building. It is hoped that the builder, contractor and neighbors will be able to better work and communicate together on this project in the future and that guidelines and/or conditions will be followed more closely for this particular project.

**Yes, the Land Use Committee would like to receive a copy of the staff report and notification of any hearings on this project.**

Respectfully Submitted,



Mary Ann Carnegie  
Chair, Land Use Committee  
Cayucos Advisory Council

#### **Attachments:**

Ad for house for sale with different plans  
CD of history of construction by current proposed builder on past project on Richard  
Letters from other concerned neighbors (Pruett/Moran)

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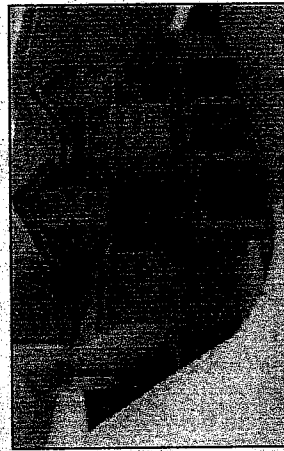
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## PANORAMIC OCEAN VIEW LOT

Gorgeoussies of ocean and town of Cayucos from this large hillside lot. Mock Model of home available for viewing...\$499,999



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3 bedrooms, 2 baths, valuted pine ceilings, freestanding fireplace, fruit trees and RV parking potential...\$465,500



## MULTI-FAMILY

2 houses being used as investment rentals in prime location near downtown Paso Robles...\$545,000



070

PN

64-201

**Subject: Richard Avenue Parking****Date:** Wednesday, December 1, 2004 4:19 PM**From:** Dave & Amy Pruett <pruett@charter.net>**To:** "James Caruso (E-mail)" <jcaruso@co.slo.ca.us>**Cc:** "Amy Swete Pruett (E-mail)" <pruett@charter.net>, <mlee@co.slo.ca.us>, <tlfielder@co.slo.ca.us>, "Frank & Maria Dinis (E-mail)" <frand@caldera.com>, "Frank Giannola (E-mail)" <mcfllg@aol.com>, "Virgina Pope (E-mail)" <virgiroy@charter.net>, <ecarnegi@calpoly.edu>, <susannemoran@comcast.net>, "Karen & Lee Wheeler (E-mail)" <camcass@psnw.com>**Priority:** Highest

James,

As you know many of our neighbors and ourselves have repeatedly requested that the County include common sense guidelines in the Conditions for Approval. In July 2000, we sent you a list of our concerns and recommendations (see attachment). It was our understanding that the County was going to include many of the guidelines such as limiting the number of cars per project as part of the Conditions for Approval for all projects starting four years ago.

Yesterday, I learned from Marsha Lee, County Building and Planning, that this was not included for the Fiero project. James, we are hoping that you can provide us with clarification on why the neighbor's concerns are being ignored and certain projects are receiving preferential treatment? The sheer volume of vehicles and continuous illegal obstruction of the road way that is occurring on Richard Avenue due to construction projects is a serious safety issue. This is not an occasional parking violation in order to accomplish a project but rather a continual disregard for public access and safety.

We personally would not care how many cars they have except that more often then not we cannot drive down the Southern portion of Richard Avenue. Our neighborhood has been extremely tolerant and looked the other way until it became a safety issue. It is now past unacceptable. Again yesterday I was unable to drive down the Southern portion of Richard Avenue. I have provided another picture of a typical day on our street from the Fiero project taken earlier in the month (Notice in this particular picture there are numerous cars parked in a "No Parking" portion of the street and another truck is double parked. Obviously through traffic could not pass. The truck double parked didn't just drop off a few things and leave. It stayed double parked for an extended period of time). Attached is our letter to the Cayucos Land Use Committee that provides the specific concerns and possible solutions.

We are concerned that yet another project (Davis) started (the day before Thanksgiving) and they may not have any limits on the number of cars. What are the Conditions for Approval on this project? Should we expect more of the same?

We would appreciate the County providing us with a better understanding of why the concerns of the community are not being addressed. You have always been fair thinking and helpful. Hopefully you can help us better understand how the County is planning to serve the entire community's best interest and safety not just the specialized interest of a few.

Thank you,  
Amy Pruett

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Amy and Dave Pruett  
2730 Richard Avenue  
Cayucos, CA. 93430  
805-995-3518

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December 1, 2004

Mary Ann Carnegie  
Chair, Cayucos Land Use Committee

**Re: Fiero Project Parking Concerns ( 2741 Richard Ave.; Permit: D99020V)**

Dear MaryAnn,

Thank you for your dedication and hard work on the Cayucos Land Use Committee. It has come to our attention that there will be another Fiero project on Richard Avenue in Cayucos. This causes us great concern and we are seeking the Cayucos Land Use Committee's assistance.

We firmly believe that property owners have a right to develop their property and we understand that it is challenging to construct a home on a narrow hillside street with limited parking. Unfortunately, the 2741 Richard Avenue, Fiero Project has had a very long and especially negative impact on the neighborhood. This is primarily due to obstructing the street, the total disregard for their neighbors, the scope and the length of the project.

**Every weekday we are not able to consistently and safely traverse the Southern portion of Richard Avenue. Most importantly public safety (fire, police and ambulance) could not access this portion of our street if needed during most days of construction. This problem is not one that would occasionally result from a typical construction project rather this is a daily issue.**

Many of our neighbors and ourselves have made numerous attempts to seek resolution on the parking problems caused by the Fiero project through the County, the property owner, the General Contractor and the CHP. Even before the Fiero project, a large group of neighbors went to the County in 2000 with recommendations for commonsense guidelines to avoid future parking issues. They have not been consistently implemented and enforced. Here we are four years later with an uncooperative property owner who has only intensified the parking situation and allowed the problem to escalate exponentially.

Listed below is a summary of the parking issues and followed by possible solutions. **We would appreciate anything the Cayucos Land Use Committee could do to assist us ensuring that parking guidelines are added to the Conditions of Approval for all projects on Richard Avenue.**

**Parking Concerns:**

- 1) Every day the construction workers park illegally on the East side ("No Parking" signs are clearly posted from Stuart Street to 350 feet North on Richard Avenue). Not only is it illegal but also the street is frequently blocked when other vehicle park legally on the Westside of the street.
  - o For example, on Wednesday, November 24 the road was blocked due to a Fiero Construction worker parking illegally on the Eastside and someone parking legally in their driveway on the Westside. I did not know the road was blocked until I had driven to that point with a car full of children and groceries. After honking to get someone's attention I was informed by a Fiero contractor that I should know better than to drive down this portion of Richard since this project



has been going on for a long time. As taxpayers and residence we have a right to drive down our street. I had to back up down a narrow dangerous hillside road. This is a serious safety issue. The CHP has repeatedly had to respond to the parking and safety violations.

- 2) The Southern portion of Richard is routinely blocked due to large construction vehicles, double parking, and unloading in the street. This is not an occasional occurrence that would normally occur in a project but rather a daily situation.
- 3) Our neighbor's driveways are frequently blocked. For instances, today, our neighbor, Mrs. Virginia Pope had to go locate the contractors who were parked in her driveway and in the "No Parking" section of the road, which later prevented her from backing out of her driveway. This is a daily ritual for the neighbors that have gone on far too long all to make the contractors work easier.
- 4) On a typical workday there are approximately 10 plus construction vehicles. This is unacceptable number of vehicles on a narrow street especially when there are multiple projects occurring on Richard Avenue.

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**Possible solutions:**

- 1) County should include in **ALL** Conditions for Approval a limit on the number of vehicles. In other densely populated California beach communities, parking is often limited to 4 vehicles.
  - County and Cayucos Land Use can establish expectations that parking is at a premium and scarce. Creative solutions will need to be employed. Also, it should be clearly outlined that parking illegally (double parking/ in "No parking" areas (Eastside of the Southern portion of Richard) / in front of driveways) will result in a code violation with penalties.
  - The County and Cayucos Land Use should encourage and require when possible that additional parking be included for new construction. The reality is that when Richard Avenue is completely built out there will be no street parking available. Will contractors be allowed to simply park in the middle of the street as they are doing so often now? All residence will eventually have to park on their property and /or make other arrangements with neighbors. This is something that all property owners should be aware of.
  - Some workers could drop off their tools and park on the North portion of Ocean (three blocks away). We realize that this is not always convenient but why should property owners be negatively impacted and endangered by not being able to safely traverse their street. Unfortunately not every worker will have his or her own parking.
  - The property owner, building a new home, could reach out to their neighbors to coordinate alternative parking options.
  - Before construction begins all neighbors should be provided with a project contact in the event of a problem such as continually parking illegally.
- 2) County could provide a special permit, signs and neighbor notifications for parking on the "No Parking" Eastside from time to time as needed on project. For instances, this is routinely done in downtown San Luis Obispo for special events and construction.
- 3) Constructions projects should work to minimize the occurrences of road closures and plan ahead by:
  - Notifying the neighbors in advance. Notification of the street closure has transpired once in two and half years of this project. Although road closures occur at least every other day for some period of time.
  - Posting signs at Stuart / Richard intersection and Ocean / Richard intersection to inform of road closures would prevent having to back down a narrow hillside street because there isn't anywhere to turn around. Posting of notification signs has never occurred with this project.

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It is a shame that such common sense guidelines would even need to be suggested let alone legislated. Unfortunately, good judgment is not being employed. Again, it is not our intent to impede a landowner's right to develop their property but rather see the implementation of fundamental ground rules that benefit all parties. This is not an occasional parking violation in order to accomplish a project but rather a continual disregard for public access and safety. We are available to provide more information or clarification if needed. Thank you for your time.

Sincerely,

Amy & Dave Pruett

2-35

**Subject:** Construction Concerns/Issues  
**Date:** Monday, November 29, 2004 17:16  
**From:** Susanne Moran <smoran@mail.arc.nasa.gov>  
**To:** <ecamegi@calpoly.edu>

Hi Mary Ann and Ed:

Below are our concerns/issues for the upcoming Meeting regarding construction on our street.

1. While we all understand that there are some inconveniences that go along with building in our neighborhood, the current construction south of our home at 2715 Richard Ave. is beyond the bounds of tolerance and reasonableness. The property owner, builder, and crew have demonstrated total disregard for the rest of us on Richard Ave. in the following manner:
  - a. As many as 18 construction crew vehicles are parked along Richard Ave. almost daily with little or no room for others to pass through.
  - b. The builder and crew park on private property, on driveways and in front of garages, blocking owners' access to their own vehicles.
  - c. The builder and crew double-park on the street, and block access to all others, including residents, delivery trucks, such as UPS, FedEx, and the U.S. Post Office. Time and again, the builder/crew have refused to move the blocking construction trucks, forcing other drivers to make perilous turns to go in the opposite direction.
  - d. When heavy equipment comes in, the road has been arbitrarily closed. With only one exception, there was no prior closure notification to the residents on Richards Ave. On that one occasion, the notice was for one day; two days later, the road was again closed, without notice.
  - e. The construction crew throw wrappers, garbage, and lit cigarettes on the road and the hillside next to our home, and possibly elsewhere.
  - f. Many of the construction trucks are in poor condition and have leaked oil on the road and on private property.
  - g. There has been little, if any, hill erosion control or mitigation.
  - h. There has been little regard for the safety of either the crew or the residents.
2. All the problems are magnified with the duration of the project, which is nearing three years.
3. We will oppose any further building on Richard Ave. that does not include limitations by the County for parking, road closure, repairs to damage to other properties, adherence to initial design specifications, and adherence to environmental and safety standards.

Susanne and Robert Moran  
2715 Richard Ave.  
Cayucos, CA 93430  
805-995-1776

, and the construction project is now in its third year, and problems continue for our neighborhood. Construction crews park en masse along the road, in private driveways, and without regard for the rights of homeowners to passing

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# COUNTY OF SAN LUIS OBISPO

FOR OFFICIAL USE ONLY (jrc)

## MITIGATED NEGATIVE DECLARATION & NOTICE OF DETERMINATION

ENVIRONMENTAL DETERMINATION NO. ED04-277

DATE: January 27, 2005

PROJECT/ENTITLEMENT: Cameron Realty Variance/Coastal Development Permit (D020402V)

APPLICANT NAME: Cameron Realty Partners

ADDRESS: 1065 Higuera Street, San Luis Obispo, CA 93401

CONTACT PERSON: Scott Smaby

Telephone: (805) 466-6528

**PROPOSED USES/INTENT:** A request by Cameron Realty Partners for a variance to allow for grading on slopes over 30 percent, and construction of a single family residence, including a garage and decks, and construction of road improvements. Grading occurred under a previous permit, and was abandoned resulting in the disturbance of approximately 4,500 square feet of a 9,298 square foot parcel.

**LOCATION:** The project is located at 2625 Richard Avenue, approximately 1,200 feet northwest of Old Creek Road and 150 feet east of Obispo Avenue, in the community of Cayucos, in the Estero planning area.

**LEAD AGENCY:** County of San Luis Obispo Department of Planning & Building  
County Government Center, Rm. 310  
San Luis Obispo, CA 93408-2040

**OTHER POTENTIAL PERMITTING AGENCIES:** California Coastal Commission

**ADDITIONAL INFORMATION:** Additional information pertaining to this environmental determination may be obtained by contacting the above Lead Agency address or (805) 781-5600.

**COUNTY "REQUEST FOR REVIEW" PERIOD ENDS AT** ..... 5 p.m. on February 10, 2005

**20-DAY PUBLIC REVIEW PERIOD begins at the time of public notification**

### Notice of Determination

State Clearinghouse No. \_\_\_\_\_

This is to advise that the San Luis Obispo County \_\_\_\_\_ as ☐ *Lead Agency*  
☐ *Responsible Agency* approved/denied the above described project on \_\_\_\_\_, and has made the following determinations regarding the above described project:

The project will not have a significant effect on the environment. A Negative Declaration was prepared for this project pursuant to the provisions of CEQA. Mitigation measures were made a condition of the approval of the project. A Statement of Overriding Considerations was not adopted for this project. Findings were made pursuant to the provisions of CEQA.

This is to certify that the Negative Declaration with comments and responses and record of project approval is available to the General Public at:

Department of Planning and Building, County of San Luis Obispo,  
County Government Center, Room 310, San Luis Obispo, CA 93408-2040

County of San Luis Obispo

Signature

Project Manager Name

Date

Public Agency

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**COUNTY OF SAN LUIS OBISPO  
INITIAL STUDY SUMMARY - ENVIRONMENTAL CHECKLIST**

**Project Title & No. Cameron Variance / Coastal Development Permit D020302V,  
(ED04-277)**

**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:** The proposed project could have a "Potentially Significant Impact" for at least one of the environmental factors checked below. Please refer to the attached pages for discussion on mitigation measures or project revisions to either reduce these impacts to less than significant levels or require further study.

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Aesthetics             | <input checked="" type="checkbox"/> Geology and Soils | <input type="checkbox"/> Recreation                  |
| <input type="checkbox"/> Agricultural Resources | <input type="checkbox"/> Hazards/Hazardous Materials  | <input type="checkbox"/> Transportation/Circulation. |
| <input type="checkbox"/> Air Quality            | <input type="checkbox"/> Noise                        | <input type="checkbox"/> Wastewater                  |
| <input type="checkbox"/> Biological Resources   | <input type="checkbox"/> Population/Housing           | <input type="checkbox"/> Water                       |
| <input type="checkbox"/> Cultural Resources     | <input type="checkbox"/> Public Services/Utilities    | <input type="checkbox"/> Land Use                    |

☐ Mandatory Findings of Significance

**DETERMINATION:** (To be completed by the Lead Agency)

On the basis of this initial evaluation, the Environmental Coordinator finds that:

- ☐ The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- ☒ Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- ☐ The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- ☐ Although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

James CARUSO  
Prepared by(Print)

James Caruso  
Signature

1.5.05  
Date

Steven McMaster  
Reviewed by(Print)

Steve McMaster  
Signature

Ellen Carroll,  
Environmental Coordinator  
(for)

1/5/05  
Date

**Project Environmental Analysis**

The County's environmental review process incorporates all of the requirements for completing the Initial Study as required by the California Environmental Quality Act (CEQA) and the CEQA Guidelines. The Initial Study includes staff's on-site inspection of the project site and surroundings and a detailed review of the information in the file for the project. In addition, available background information is reviewed for each project. Relevant information regarding soil types and characteristics, geologic information, significant vegetation and/or wildlife resources, water availability, wastewater disposal services, existing land uses and surrounding land use categories and other information relevant to the environmental review process are evaluated for each project. Exhibit A includes the references used, as well as the agencies or groups that were contacted as a part of the Initial Study. The Environmental Division uses the checklist to summarize the results of the research accomplished during the initial environmental review of the project.

Persons, agencies or organizations interested in obtaining more information regarding the environmental review process for a project should contact the County of San Luis Obispo Environmental Division, Rm. 310, County Government Center, San Luis Obispo, CA, 93408-2040 or call (805) 781-5600.

**A. PROJECT**

**DESCRIPTION:** - Proposal by Cameron Realty Partners for a Variance/Coastal Development Permit to allow construction and grading on slopes over 30%. Grading occurred under a previous permit resulting in the disturbance of approximately 4500 sq ft and was abandoned. The current applicant proposes to construct a 5,168 sq ft single family dwelling, 820 sq ft garage, 1458 sq ft of decks/verandas and to construct road improvements on Richard Ave consisting of approximately 3450 sq ft of asphalt concrete pavement. The project is located on the north side of Richard Ave (2625 Richard Avenue), approximately 1200 feet northwest of Old Creek Road and 150 feet east of Obispo Ave, in the community of Cayucos, in the Estero planning area.

**ASSESSOR PARCEL NUMBER(S):** 064-201-070

**SUPERVISORIAL DISTRICT #** 2

**B. EXISTING SETTING**

**PLANNING AREA:** Estero

**LAND USE CATEGORY:** Residential Single Family

**COMBINING DESIGNATION(S):** Local Coastal Plan & Geologic Study Area

**EXISTING USES:** Single Family Residential

**TOPOGRAPHY:** Steeply Sloping

**VEGETATION:** Grasses

**PARCEL SIZE:** 9,298 square feet

**SURROUNDING LAND USE CATEGORIES AND USES:**

*North:* Residential Single Family / SFR

*East:* Rural Lands / Vacant

*South:* Residential Single Family / SFR

*West:* Residential Single Family / SFR

**C. ENVIRONMENTAL ANALYSIS**

During the Initial Study process, several issues were identified as having potentially significant environmental effects (see following Initial Study). Those potentially significant items associated with the proposed uses can be minimized to less than significant levels.

**COUNTY OF SAN LUIS OBISPO  
INITIAL STUDY CHECKLIST**

<b>1. AESTHETICS - Will the project:</b>	<b>Potentially Significant</b>	<b>Impact can &amp; will be mitigated</b>	<b>Insignificant Impact</b>	<b>Not Applicable</b>
a) <i>Create an aesthetically offensive site open to public view?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Introduce a use within a scenic view open to the public?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Change the visual character of an area?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Create glare or night lighting which may affect surrounding areas?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Impact unique geological or physical features?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) <i>Other _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Visual Impacts** - The project site is not visible from Highway 1 and is located in an area of similar existing single family residences. Because of these factors no significant visual impacts are expected to occur and no mitigation measures are necessary.

<b>2. AGRICULTURAL RESOURCES - Will the project:</b>	<b>Potentially Significant</b>	<b>Impact can &amp; will be mitigated</b>	<b>Insignificant Impact</b>	<b>Not Applicable</b>
a) <i>Convert prime agricultural land to non-agricultural use?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Impair agricultural use of other property or result in conversion to other uses?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Conflict with existing zoning or Williamson Act program?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Agricultural Resource Impacts** - The project is located in a predominantly residential area with no agricultural activities. No impacts to agricultural resources are anticipated.

### 3. AIR QUALITY - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Violate any state or federal ambient air quality standard, or exceed air quality emission thresholds as established by County Air Pollution Control District?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose any sensitive receptor to substantial air pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Create or subject individuals to objectionable odors?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be inconsistent with the District's Clean Air Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Air Quality Impacts** - As proposed, the project will result in minimal new disturbance. This will result in both short-term vehicle emissions (which helps create ozone) and the creation of dust during construction. Based on Table 1-1 of the CEQA Air Quality Handbook, the project will result in less than 10 lbs./day of pollutants, which is below the threshold warranting any mitigation. Therefore, no mitigation measures are necessary and the potential impacts are considered less than significant.

### 4. BIOLOGICAL RESOURCES - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Result in a loss of unique or special status species or their habitats?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Reduce the extent, diversity or quality of native or other important vegetation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impact wetland or riparian habitat?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Introduce barriers to movement of resident or migratory fish or wildlife species, or factors which could hinder the normal activities of wildlife?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Biological Impacts** - The project site does not support any sensitive native vegetation, significant wildlife habitats, or special status species. Therefore, no significant biological impacts are expected to occur.



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**5. CULTURAL RESOURCES -***Will the project:*

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Disturb pre-historic resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Disturb historic resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Disturb paleontological resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Cultural Resource Impacts.** The project is located in an area historically occupied by the Southern Salinan and the Obispeno Chumash. The project is not located in a designated archaeological sensitive area. No evidence of cultural materials typically associated with prehistoric occupation were noted on-site and no impacts are anticipated.

No structures are present and no paleontological resources are known to exist in the area. Impacts to historic or paleontological resources are not expected.

**6. GEOLOGY AND SOILS -***Will the project:*

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Result in exposure to or production of unstable earth conditions, such as landslides, earthquakes, liquefaction, ground failure, land subsidence or other similar hazards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Be within a CA Dept. of Mines &amp; Geology Earthquake Fault Zone (formerly Alquist Priolo)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) <i>Result in soil erosion, topographic changes, loss of topsoil or unstable soil conditions from project-related improvements, such as vegetation removal, grading, excavation, or fill?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) <i>Change rates of soil absorption, or amount or direction of surface runoff?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) <i>Include structures located on expansive soils?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) <i>Change the drainage patterns where substantial on- or off-site sedimentation/ erosion or flooding may occur?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) <i>Involve activities within the 100-year flood zone?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) <i>Be inconsistent with the goals and policies of the County's Safety Element relating to Geologic and Seismic Hazards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**6. GEOLOGY AND SOILS -***Will the project:*

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
i) <i>Preclude the future extraction of valuable mineral resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j) <i>Other _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Setting/Impacts - Geology.** The topography of the project is steeply sloping. The area proposed for development is inside of the Geological Study Area designation due to landslide risk. The liquefaction potential during a ground-shaking event is considered low. No active faulting is known to exist on or near the subject property.

The Geologic Study Area overlay indicates the likely presence of unstable soil or geological conditions due to the slope of the property. An Engineering Geology Report (Geosolutions-February 1999) was provided for the project site. The report concluded that the site is suitable for the proposed development provided the recommendations presented in the report are incorporated into the project plans and specifications. The report includes preliminary recommendations for the site preparation, grading, foundations, retaining walls, and surface drainage. Recommendations of this report have been incorporated into the project's conditions of approval.

**Drainage.** Future development on the subject property will be required to prepare a drainage plan (per County Land Use Ordinance, Sec. 23.05.040) that will be incorporated into the development to minimize potential drainage impacts. This drainage plan will need to be consistent with the Soils Engineering Report (TerraTech - October 1996) and Drainage and Erosion Control Plan and include adequate measures, such as installing surface water flow dissipaters. The drainage plan for the increased runoff from new construction will need to show that there will not be any increase in surface runoff beyond that of historic flows.

**Sedimentation and Erosion.** The soil types include: Lodo clay loam. As described in the NRCS Soil Survey, the soil surface is considered moderately erodible and has a moderate shrink-swell characteristic. Grading for the previously approved project created exposed graded areas subject to increased soil erosion and down-gradient sedimentation. Approximately 4000 square feet of area have been disturbed. New areas of disturbance will be minor.

Erosion of graded areas and discharge of sediment down gradient will likely result, if adequate temporary and permanent measures are not taken before, during and after vegetation removal and grading. If not properly mitigated, these impacts both on the project site and within surrounding areas may be significant.

A sedimentation and erosion control plan shall be prepared (per County Land Use Ordinance, Sec. 23.05.036) and incorporated into the project to minimize sedimentation and erosion. The plan will need to be prepared by a registered civil engineer and address the following to minimize temporary and long-term sedimentation and erosion: slope surface stabilization, erosion and sedimentation control devices and final erosion control measures.

**Mitigation/Conclusions -** Implementation of the above-referenced drainage plan and sedimentation and erosion control plan will reduce potential drainage impacts to less than significant levels.

Based on the proposed project and implementation of standard requirements for geology, drainage, and sedimentation/ erosion impacts will be reduced to less than significant levels.

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## 7. HAZARDS & HAZARDOUS MATERIALS - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Result in a risk of explosion or release of hazardous substances (e.g. oil, pesticides, chemicals, radiation) or exposure of people to hazardous substances?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Interfere with an emergency response or evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people to safety risk associated with airport flight pattern?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Increase fire hazard risk or expose people or structures to high fire hazard conditions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Create any other health hazard or potential hazard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Hazards & Hazardous Materials Impacts** - The project is not located in an area of known hazardous material contamination and does not propose use of hazardous materials. No significant fire safety risk was identified. No impacts as a result of hazards or hazardous materials are anticipated.

## 8. NOISE - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Expose people to noise levels which exceed the County Noise Element thresholds?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Generate increases in the ambient noise levels for adjoining areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people to severe noise or vibration?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Noise Impacts** - The project will not generate nor is not exposed to significant stationary or transportation-related noise sources, therefore, no significant noise impacts are expected to occur.

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**9. POPULATION/HOUSING -***Will the project:*

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Induce substantial growth in an area either directly or indirectly (e.g., through projects in an undeveloped area or extension of major infrastructure)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Displace existing housing or people, requiring construction of replacement housing elsewhere?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) <i>Create the need for substantial new housing in the area?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Use substantial amount of fuel or energy?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Population and Housing Impacts** - The project will not result in a need for a significant amount of new housing, and will not displace existing housing. Therefore, no significant population and housing impacts are expected to occur.

**10. PUBLIC SERVICES/UTILITIES -***Will the project have an effect upon, or result in the need for new or altered public services in any of the following areas:*

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Fire protection?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) <i>Police protection (e.g., Sheriff, CHP)?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) <i>Schools?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) <i>Roads?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) <i>Solid Wastes?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Other public facilities?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) <i>Other _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Public Services/Utilities.** The project area is served by the County Sheriffs Department and the Cayucos Fire Department as the primary emergency responders. The nearest sheriff station is located at the Cayucos substation. The project is located in the Cayucos Elementary School District and the Coast Joint Union High School District. No significant project-specific impacts to utilities or public services were identified.

The Board of Supervisors, in an appeal decision on the previously permitted project, required the former developer to improve Richard Ave to the nearest county maintained road to the east. The project is conditioned to satisfy this requirement and the plans have been submitted to the County Department of Public Works.

This project, along with numerous others in the area will have a cumulative effect on police and fire protection, and schools. Public facility and school fee programs have been adopted to address this impact and will reduce the cumulative impact to a level of insignificance.

### 11. RECREATION - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Increase the use or demand for parks or other recreation opportunities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Affect the access to trails, parks or other recreation opportunities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Recreation Impacts** - The County Trails Plan does not show a future trail being considered on the subject property. The project is not proposed in a location that will affect any trail, park or other recreational resource, and will not create a significant need for additional park or recreational resources.

### 12. TRANSPORTATION/ CIRCULATION - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Increase vehicle trips to local or areawide circulation system?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Reduce existing "Levels of Service" on public roadway(s)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Create unsafe conditions on public roadways (e.g., limited access, design features, sight distance, slow vehicles)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Provide for adequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Result in inadequate parking capacity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Result in inadequate internal traffic circulation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., pedestrian access, bus turnouts, bicycle racks, etc.)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in a change in air traffic patterns that may result in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Transportation/Circulation** - The proposed addition is not expected to generate a significant amount of additional traffic. However, Richard Ave. is currently not paved to county standards at the project location. The Board of Supervisors, in an appeal decision on the previously approved project,

required Richard Ave to be improved to the nearest county maintained road to the east. The project is conditioned to satisfy this requirement and the plans for the improvement have submitted to the County Public Works Department.

### 13. WASTEWATER - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Violate waste discharge requirements or Central Coast Basin Plan criteria for wastewater systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Change the quality of surface or ground water (e.g., nitrogen-loading, daylighting)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Adversely affect community wastewater service provider?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Wastewater** - The project has a will-serve letter issued by the Cayucos Sanitary District. Therefore, no special measures are needed and potential impacts are considered less than significant.

### 14. WATER - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Violate any water quality standards?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Discharge into surface waters or otherwise alter surface water quality (e.g., turbidity, temperature, dissolved oxygen, etc.)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Change the quality of groundwater (e.g., saltwater intrusion, nitrogen-loading, etc.)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Change the quantity or movement of available surface or ground water?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Adversely affect community water service provider?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Water Usage.** A will serve letter has been received from County Service Area No. 10. No special measures are needed and potential impacts are considered less than significant.

**Surface Water Quality.** The project is located in an urbanized area and all run-off will be handled by the existing storm drain system. Standard drainage and erosion control measures will be required for the proposed project and will provide sufficient measures to adequately protect surface water quality. No additional measures are considered necessary and potential water quality impacts are either insignificant or will be reduced to less than significant levels.

**15. LAND USE - Will the project:**

	Inconsistent	Potentially Inconsistent	Consistent	Not Applicable
a) <i>Be potentially inconsistent with land use, policy/regulation (e.g., general plan [county land use element and ordinance], local coastal plan, specific plan, Clean Air Plan, etc.) adopted to avoid or mitigate for environmental effects?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Be potentially inconsistent with any habitat or community conservation plan?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Be potentially inconsistent with adopted agency environmental plans or policies with jurisdiction over the project?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Be potentially incompatible with surrounding land uses?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Setting/Impacts** - The proposed project was reviewed for consistency with policy and/or regulatory documents relating to the environment and appropriate land use (e.g., County Land Use Ordinance, Local Coastal Plan, etc.). Referrals were sent to several agencies to review for various policy consistencies. The project was found to be generally consistent with these documents with regards to building on slopes of 30%. This project is a variance application in order to build on slopes of 30% or greater which is not consistent with the County Land Use Ordinance, however because the entire project site is located on slopes of at least 30% the findings can be made to support a variance to build on steep slopes such as these.

The proposed project is not within or adjacent to a Habitat Conservation Plan area.

The surrounding uses are as follows: North - Residential Single Family; South - Residential Single Family; East - Rural Lands; West - Residential Single Family. The proposed project is compatible with these surrounding uses because it is a single family residence.

**Mitigation/Conclusion** - No inconsistencies were identified and therefore no additional measures above what will already be required was determined necessary.

**16. MANDATORY FINDINGS OF SIGNIFICANCE - Will the project:**

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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- b) *Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current project's, and the effects of probable future projects)*

☐☐☒☐

- c) *Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?*

☐☐☒☐

For further information on CEQA or the county's environmental review process, please visit the County's web site at "[www.slocoplanbldg.com](http://www.slocoplanbldg.com)" under "Environmental Review", or the California Environmental Resources Evaluation System at "[http://ceres.ca.gov/topic/env\\_law/ceqa/guidelines/](http://ceres.ca.gov/topic/env_law/ceqa/guidelines/)" for information about the California Environmental Quality Act.

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**Exhibit A - Initial Study References and Agency Contacts**

The County Planning or Environmental Division have contacted various agencies for their comments on the proposed project. With respect to the subject application, the following have been contacted (marked with an "X") and when a response was made, it is either attached or in the application file:

<u>Contacted</u>	<u>Agency</u>	<u>Response</u>
<u>X</u>	County Public Works Department	Attached
<u>—</u>	County Environmental Health Division	Not Applicable
<u>—</u>	County Agricultural Commissioner's Office	Not Applicable
<u>—</u>	County Airport Manager	Not Applicable
<u>—</u>	Airport Land Use Commission	Not Applicable
<u>—</u>	Regional Water Quality Control Board	Not Applicable
<u>X</u>	CA Coastal Commission	No Response
<u>—</u>	CA Department of Fish and Game	Not Applicable
<u>X</u>	Cayucos Fire Department	In File*
<u>X</u>	Cayucos Sanitary District	In File*
<u>X</u>	Cayucos Citizens Advisory Council	No Response

\* "No comment" or "No concerns"-type responses are usually not attached

The following checked ("✓") reference materials have been used in the environmental review for the proposed project and are hereby incorporated by reference into the Initial Study. The following information is available at the County Planning and Building Department.

<u>✓</u> Project File for the Subject Application	<u>—</u> <u>—</u> Area Plan and Update EIR
<u>County documents</u>	<u>—</u> <u>—</u> Circulation Study
<u>—</u> Airport Land Use Plans	<u>Other documents</u>
<u>✓</u> Annual Resource Summary Report	<u>✓</u> Archaeological Resources Map
<u>—</u> Building and Construction Ordinance	<u>✓</u> Area of Critical Concerns Map
<u>✓</u> Coastal Policies	<u>✓</u> Areas of Special Biological
<u>✓</u> Framework for Planning (Coastal & Inland)	Importance Map
<u>✓</u> General Plan (Inland & Coastal), including all	<u>✓</u> California Natural Species Diversity
maps & elements; more pertinent elements	Database
considered include:	<u>✓</u> Clean Air Plan
<u>✓</u> Agriculture & Open Space Element	<u>✓</u> Fire Hazard Severity Map
<u>✓</u> Energy Element	<u>✓</u> Flood Hazard Maps
<u>✓</u> Environment Plan (Conservation,	<u>✓</u> Natural Resources Conservation
Historic and Esthetic Elements)	Service Soil Survey for San Luis
<u>✓</u> Housing Element	Obispo County
<u>✓</u> Noise Element	<u>✓</u> Regional Transportation Plan
<u>—</u> Parks & Recreation Element	<u>✓</u> Uniform Fire Code
<u>✓</u> Safety Element	<u>✓</u> Water Quality Control Plan (Central
<u>✓</u> Land Use Ordinance	Coast Basin - Region 3)
<u>—</u> Real Property Division Ordinance	<u>—</u> Other <u>—</u>
<u>—</u> Trails Plan	<u>—</u> Other <u>—</u>
<u>—</u> Solid Waste Management Plan	

In addition, the following project-specific information and/or reference materials have been considered as a part of the Initial Study:

Soils Engineering Report (TerraTech, October 1996)  
Engineering Geology Report (Geosolutions, February 1999)

## Exhibit B - Mitigation Summary Table

### Site Specific and Cumulative Geologic Impacts

1. **Prior to any site disturbance or issuance of grading permits or building permits**, the following conditions shall be included on all building plans and grading plans:
  - The project soil engineer shall review and approve construction plans, including all plans for building foundations, excavation and cut slopes steeper than a 1:1 (45°) slope angle. The project soil engineer and Certified Engineering Geologist shall submit written verification to the Department of Planning and Building that the plans within their area of expertise were reviewed and approved.
  - The project soil engineer shall inspect work on-site and verify that all foundation work, grading and drainage has been performed in a manner consistent with the intent of the plan review and engineering geology report.
  - The project Certified Engineering Geologist shall issue a final engineering geology compliance report as required by the Uniform Building Code which identifies changes observed during construction, recommendations offered for mitigation, and confirmation that construction was completed in compliance with the intent of the engineering geology report.
  - Should the services of the project Certified Engineering Geologist be terminated prior to final inspection and/or issuance of occupancy permits, the applicant shall submit a transfer of responsibility statement to the County Planning Department from the new Certified Engineering Geologist as per the Uniform Building Code.
  - A final report prepared by the project soil engineer shall be submitted to the County's field inspector stating that all work performed is suitable to support the intended structure. Such report shall include any field reports, compaction data, etc..
  - The applicant shall implement all recommendations in Observation and Testing Programs prepared by project Civil Engineer(CE)(s), Geotechnical Engineer(RGE)(s), and /or Certified Engineering Geologist(CEG)(s). The Observation and Testing Program may include, but not be limited to any of the following tasks:
    - Review of Final Project Plans - CEG/RGE/CE
    - Review of stripping and clearing of vegetation - CE/RGE
    - Review of cut and fill slopes - cut slopes: CEG, fill slopes:CE/RGE
    - Review of preparation of soil to receive fill - CE/RGE
    - Review of fill placement and compaction - CE/RGE
    - Review of subsurface drainage control - CEG/RGE/CE
    - Review of footing excavations - CE/RGE
    - Review of premoistening of subslab soils - CE/RGE
    - Review of erosion control measures - CE/RGE

2. **During project construction/ground disturbing activities**, the applicant shall retain a soil engineer and Certified Engineering Geologist of record and shall provide a written *certification of adequacy of the proposed site development for its intended use* to the Department of Planning and Building.
3. **Prior to occupancy or final inspection, whichever occurs first**, the engineering geologist of record shall verify that construction is in compliance with the intent of the Soils Engineering Report (TerraTech; February 1996). The engineering geologist shall verify that the Reports' recommendations have been incorporated into the final design and construction. This verification shall be submitted in writing to the Department of Planning and Building for review and approval.

#### **Site Specific and Cumulative Drainage Impacts**

4. **Prior to any site disturbance or issuance of grading permits or building permits**, the applicant shall submit a Sedimentation and Erosion Control Plan, prepared and signed by a Registered Civil Engineer, that addresses both temporary and long-term sedimentation and erosion control measures. The plan shall include but not be limited to the following measures:
  - **Slope surface stabilization:** Temporary mulching, seeding or other suitable stabilization measures approved by the County Engineer shall be used to protect exposed erodible areas during construction. Earth or paved interceptors and diversions shall be installed at the top of cut or fill slopes where there is a potential for erosive surface runoff.
  - **Erosion and sedimentation control devices:** In order to prevent sedimentation discharges, erosion and sediment control devices shall be installed as necessary for all grading and filling. Control devices and measures may include, but are not limited to, energy absorbing structures or devices to reduce the velocity of runoff water.
  - **Final erosion control measures:** All surfaces disturbed by vegetation removal, grading, or other construction activity are to be revegetated to control erosion within 30 days after completion of grading, unless the graded areas are covered with impervious or other improved surfaces authorized by approved plans.
  - **Control of off-site effects:** All grading activity shall be conducted to prevent damaging effects of erosion, sediment production and dust on the site and on adjoining properties.
5. **Prior to any site disturbance**, the applicant shall submit to the County a Drainage Plan, prepared by a Registered Civil Engineer, that evaluates: 1) the effects of the project's projected runoff on adjacent properties and existing drainage facilities and systems; and 2) estimates of existing and increased runoff resulting from the proposed improvements.
6. **Prior to occupancy or final inspection, whichever occurs first**, the Registered Civil Engineer shall verify that the recommendations of the Drainage Plan and the

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Sedimentation and Erosion Control Plan have been incorporated into the final design and construction. This verification shall be submitted in writing to the Department of Planning and Building for review and approval. If required by the County Engineer, the applicant shall execute a plan check and inspection agreement with the County, so the drainage, sedimentation and erosion control facilities can be inspected and approved before a certificate of occupancy is issued.

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DATE: January 20, 2005

**DEVELOPER'S STATEMENT FOR  
CAMERON REALTY VARIANCE; ED04-277 (D020302V)**

The applicant agrees to incorporate the following measures into the project. These measures become a part of the project description and therefore become a part of the record of action upon which the environmental determination is based. All development activity must occur in strict compliance with the following mitigation measures. These measures shall be perpetual and run with the land. These measures are binding on all successors in interest of the subject property.

**Note:** The items contained in the boxes labeled "Monitoring" describe the County procedures to be used to ensure compliance with the mitigation measures.

**Site Specific and Cumulative Geologic Impacts**

1. **Prior to any site disturbance or issuance of grading permits or building permits**, the following conditions shall be included on all building plans and grading plans:
  - A Certified Engineering Geologist shall review, approve and stamp construction plans, including all plans for building foundations and excavation.
  - The Certified Engineering Geologist shall inspect work on-site and verify that building construction, including all foundation work, has been performed in a manner consistent with the intent of the plan review and engineering geology report.
  - The Certified Engineering Geologist shall issue a final engineering geology compliance report as required by the Uniform Building Code which identifies changes observed during construction, recommendations offered for mitigation, and confirmation that construction was completed in compliance with the intent of the engineering geology report.
  - Should the services of the Certified Engineering Geologist be terminated prior to final inspection and/or issuance of occupancy permits, the applicant shall submit a transfer of responsibility statement to the County Planning Department from the new Certified Engineering Geologist as per the Uniform Building Code.
  - A final report prepared by a soil and/or civil engineer shall be submitted to the County's field inspector stating that all work performed is suitable to support the intended structure. Such report shall include any field reports, compaction data, etc..
  - The applicant shall implement all recommendations in Observation and Testing Programs prepared by project Civil Engineer(s), Geotechnical Engineer(s), and /or Certified Engineering Geologist(s). The Observation and Testing Program may include, but not be limited to any of the following tasks:

Review of Final Project Plans  
Review of stripping and clearing of vegetation

Review of cut and fill slopes  
Review of preparation of soil to receive fill  
Review of fill placement and compaction  
Review of subsurface drainage control  
Review of footing excavations  
Review of premoistening of subslab soils  
Review of erosion control measures

**Monitoring:** Plans will be submitted to the Department of Planning and Building for review and approval.

2. **During project construction/ground disturbing activities**, the applicant shall retain a Certified Engineering Geologist of record and shall provide the engineering geologist's written certification of adequacy of the proposed site development for its intended use to the Department of Planning and Building.

**Monitoring:** Report will be submitted to the Department of Planning and Building for review and approval.

3. **Prior to occupancy or final inspection, whichever occurs first**, the soil engineer and engineering geologist of record shall verify that construction is in compliance with the intent of the Engineering Geology Study, prepared by GeoSolutions, dated February, 1999. The engineering geologist shall verify that the Report's recommendations, made in Section 9.0, "Geologic Conclusions and Recommendations" and Section 11, "Engineering Conclusions and Recommendations", have been incorporated into the final design and construction. This verification shall be submitted in writing to the Department of Planning and Building for review and approval.

**Monitoring:** Report will be submitted to the Department of Planning and Building for review and approval.

#### **Site Specific and Cumulative Drainage Impacts**

4. **Prior to any site disturbance or issuance of grading permits or building permits**, the applicant shall submit a Sedimentation and Erosion Control Plan, prepared and signed by a Registered Civil Engineer, that addresses both temporary and long-term sedimentation and erosion control measures. The plan shall include but not be limited to the following measures:

- **Slope surface stabilization:** Temporary mulching, seeding or other suitable stabilization measures approved by the County Engineer shall be used to protect exposed erodible areas left in an unfinished state during the period from October 15 through April 15. Earth or paved interceptors and diversions shall be installed at the top of cut or fill slopes where there is a potential for erosive surface runoff.
- **Erosion and sedimentation control devices:** In order to prevent sedimentation discharges, erosion and sediment control devices shall be installed as necessary for all grading and filling. Control devices and measures may include, but are not limited to, energy absorbing structures or devices to reduce the velocity of runoff water.
- **Final erosion control measures:** During the period from October 15 through April 15, all surfaces disturbed by vegetation removal, grading, or other construction activity are to be revegetated to control erosion within 30 days after completion of grading, unless the graded areas are covered with impervious or other improved surfaces authorized by approved plans.
- **Control of off-site effects:** All grading activity shall be conducted to prevent damaging effects of erosion, sediment production and dust on the site and on adjoining properties.

**Monitoring:** Sedimentation and Erosion Control Plan shall be submitted to the Department of Planning and Building and County Engineering Department for review and approval.

5. **Prior to any site disturbance,** the applicant shall submit to the County a Drainage Plan, prepared by a Registered Civil Engineer, that evaluates: 1) the effects of the project's projected runoff on adjacent properties and existing drainage facilities and systems; and 2) estimates of existing and increased runoff resulting from the proposed improvements.

**Monitoring:** Drainage Plan shall be submitted to the Department of Planning and Building and County Engineering Department for review and approval.

6. **Prior to occupancy or final inspection, whichever occurs first,** the Registered Civil Engineer shall verify that the recommendations of the Drainage Plan and the Sedimentation and Erosion Control Plan have been incorporated into the final design and construction. This verification shall be submitted in writing to the Department of Planning and Building for review and approval. If required by the County Engineer, the applicant shall execute a plan check and inspection agreement with the County, so the drainage, sedimentation and erosion control facilities can be inspected and approved before a certificate of occupancy is issued.

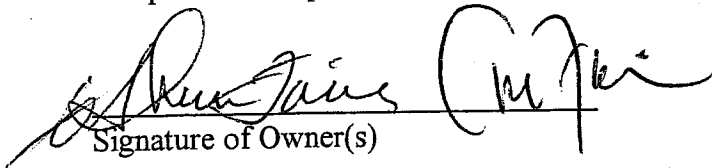
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**Monitoring:** Report will be submitted to the Department of Planning and Building for review and approval.

7. **Prior to issuance of grading permits**, the applicant shall submit to the County Engineering Department a signed, "AGREEMENT TO PARTICIPATE IN AND NOT OPPOSE FORMATION OF AN ASSESSMENT DISTRICT FOR THE CONSTRUCTION AND INSTALLATION OF DRAINAGE IMPROVEMENTS". The boundaries of the possible future assessment district would include the Cayucos hillside area, east of Highway 1 and south of Willow Creek.

**Monitoring:** Plan will be submitted to the Department of Planning and Building and County Engineering Department for review and approval.

The applicant understands that any changes made to the project subsequent to this environmental determination must be reviewed by the Environmental Coordinator and may require a new environmental determination for the project. By signing this agreement, the owner(s) agrees to and accepts the incorporation of the above measures into the proposed project description.

  
Signature of Owner(s)

1-19-05  
Date

E. SHANNON FARIES / CAREY FIERRO  
Name (Print)



2-57

AG

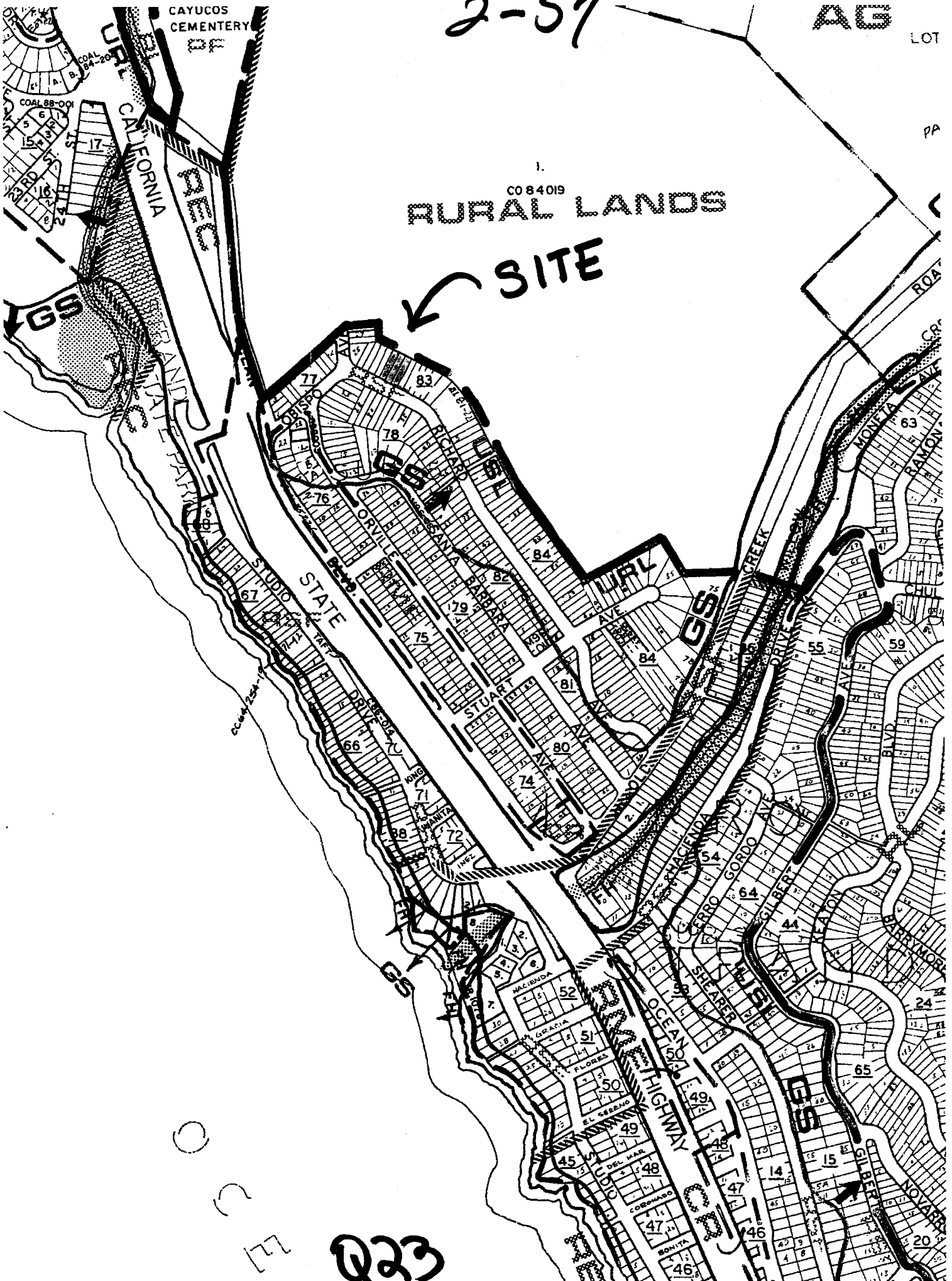
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PA

CO 84 019

RURAL LANDS

SITE



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These drawings and related specifications are representations of services and are not intended to constitute the project of KOTY JAY BLAIR ARCHITECT. All designs and other information on these drawings are for the use of the client and are not to be used for any other purpose without the expressed written permission of KOTY JAY BLAIR ARCHITECT. The client assumes all responsibility for the design and construction of the project.

# CAMERON REALTY PARTNERS

## RICHARD STREET RESIDENCE

### CAYUCOS, CALIFORNIA

#### CONSULTANTS

##### ARCHITECT

Scott J. Taylor Architects  
7055 Bala Vista Dr.  
San Jose, CA 95128  
(408) 434-4339

##### ENGINEER

William J. and George, Inc.  
7000 Korte Rd.  
San Jose, CA 95128  
(408) 434-4339

##### SOILS

Geo-Technical Inc.  
520 Hill Street  
San Jose, CA 95105  
(408) 543-8339

##### DRAINAGE/GRADING

Todd Haines & Associates  
San Jose, CA 95105  
(408) 543-8339

#### GENERAL NOTES

OWNERSHIP OF DRAWINGS  
These drawings and design have been prepared for the exclusive use of the client and are not to be used for any other purpose without the expressed written permission of the architect. The client assumes all responsibility for the design and construction of the project.

#### IMPLEMENTATION DOCUMENTS

##### Soil Report

Soil report shall be prepared by Geo-Technical Inc. for the project. The report shall include all necessary information and further information.

#### STATISTICS

##### PROJECT

Single Family Residence

##### CLIENT

Cameron Realty Partners  
Cayucos, CA 95009

##### PROJECT ADDRESS

2435 Richard Avenue  
Cayucos, CA 95009

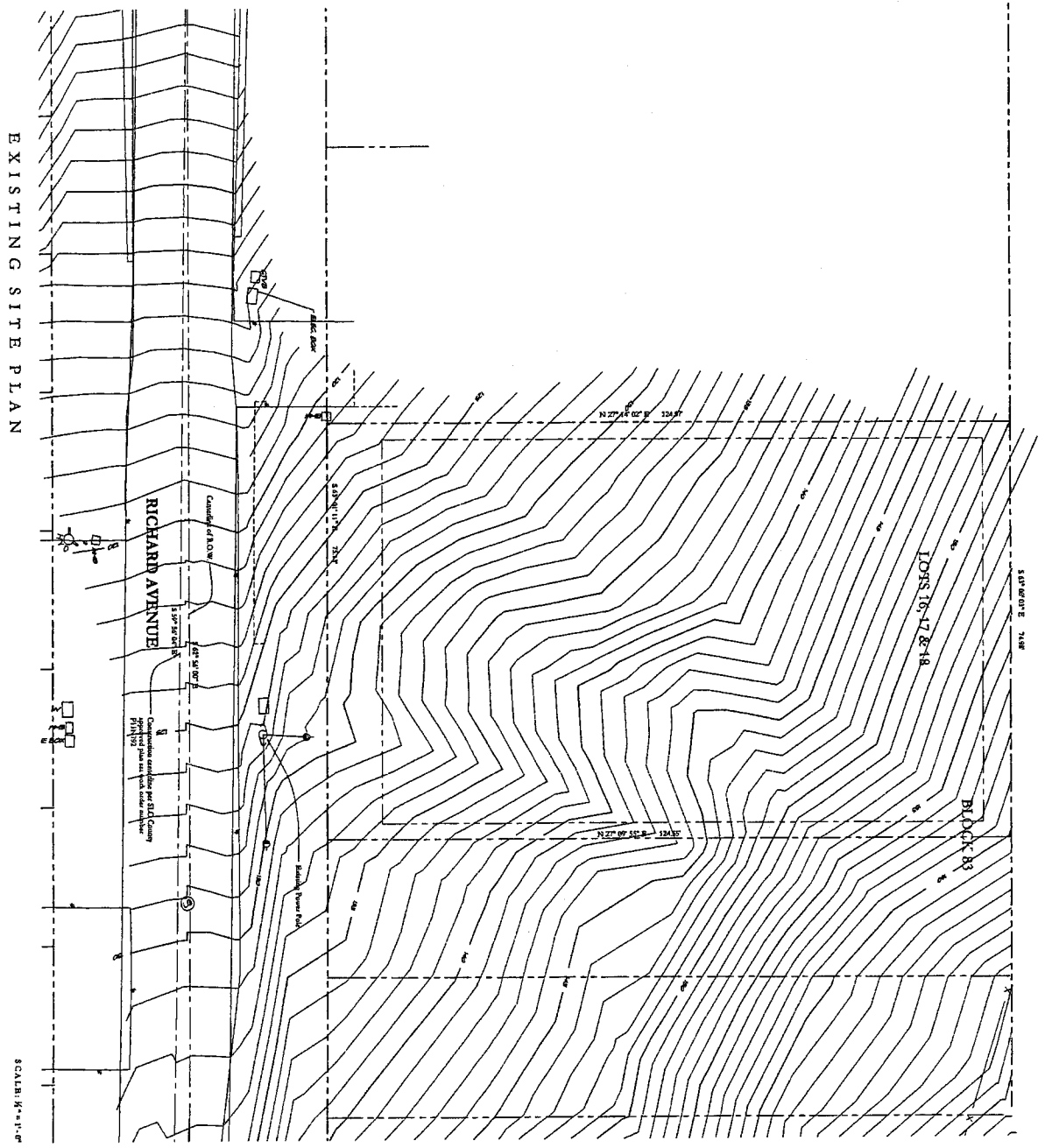
##### LEGAL DESCRIPTION

Tract 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 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1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 1700, 1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1773, 1774, 1775, 1776, 1777, 1778, 1779, 1780, 1781, 1782, 1783, 1784, 1785, 1786, 1787, 1788, 1789, 1790, 1791, 1792, 1793, 1794, 1795, 1796, 1797, 1798, 1799, 1800, 1801, 1802, 1803, 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833, 1834, 1835, 1836, 1837, 1838, 1839, 1840, 1841, 1842, 1843, 1844, 1845, 1846, 1847, 1848, 1849, 1850, 1851, 1852, 1853, 1854, 1855, 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EXISTING SITE PLAN



SCALE: 1/8" = 1'-0"



EXISTING SITE PLAN

CI



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PROPOSED SITE/LANDSCAPING PLAN

NOTE: FOR CIVIL DESIGN/PAVING PLAN, SEE SHEETS CA 1 & 2

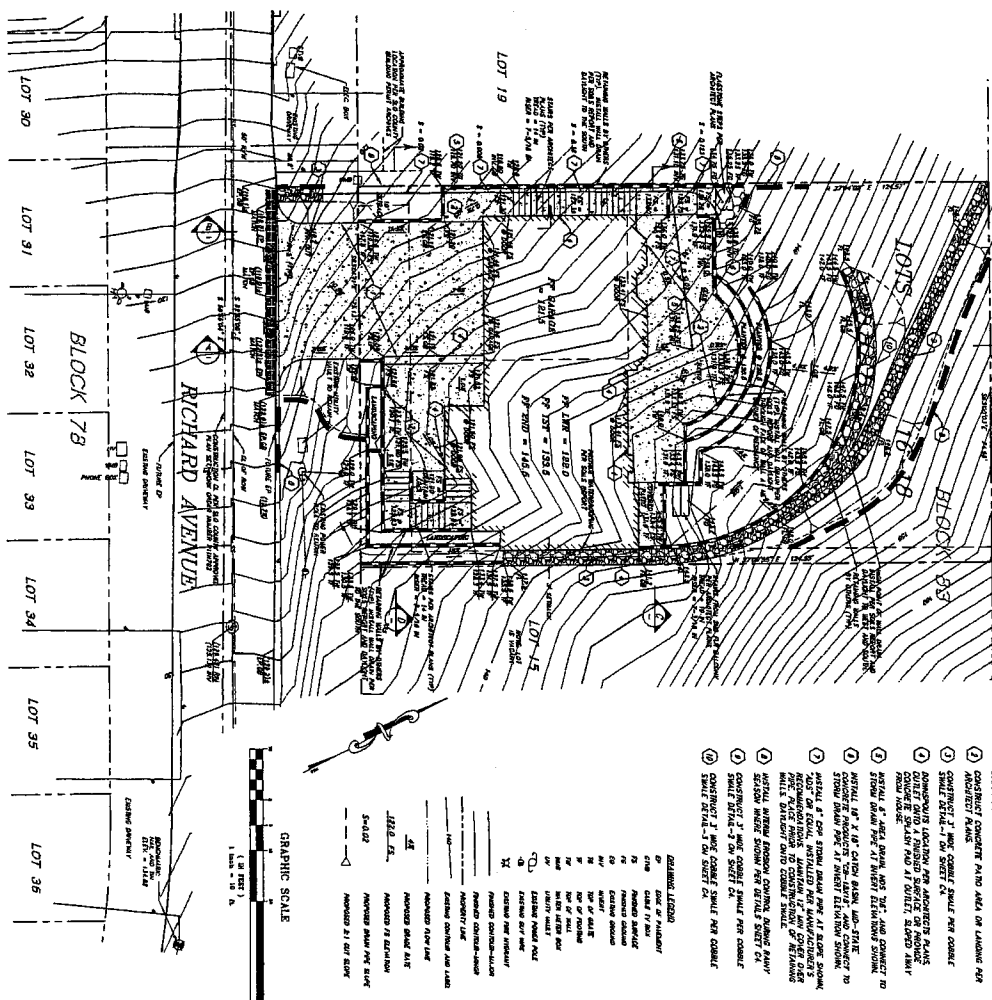
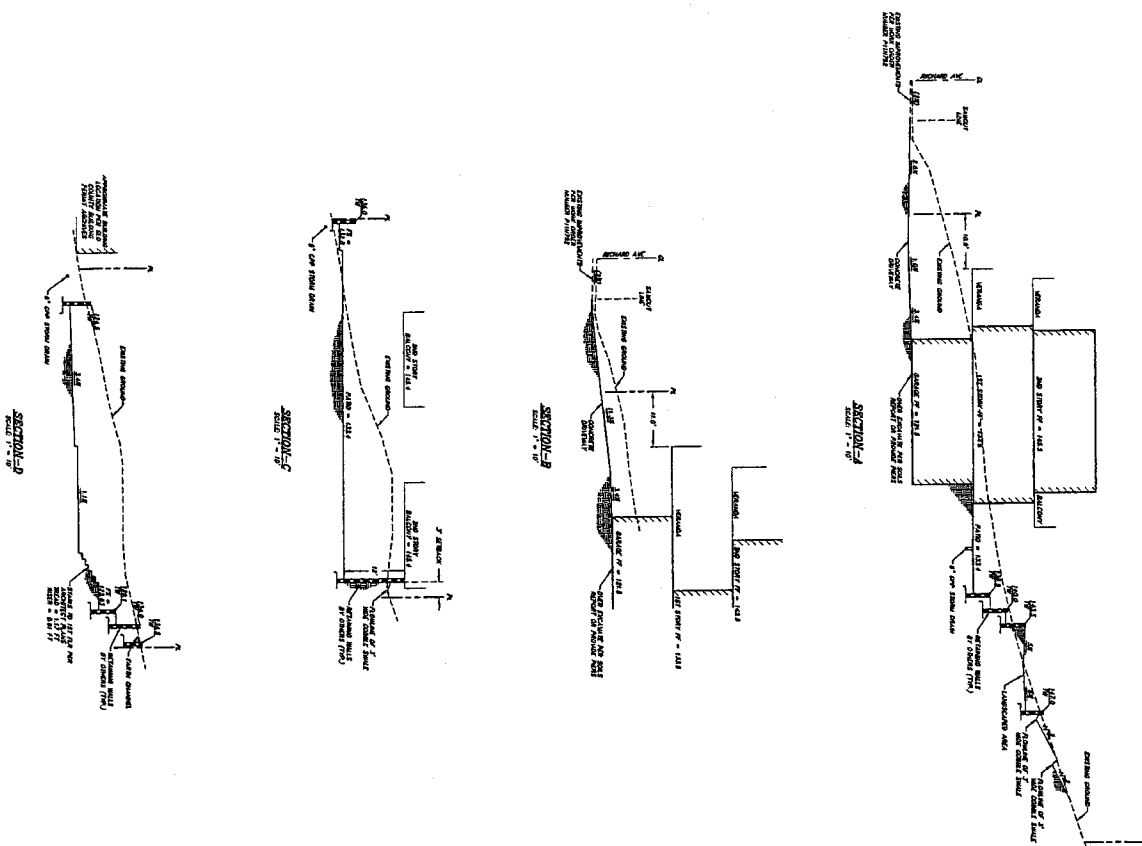
SCALE: 1/8" = 1'-0"



- LANDSCAPE LEGEND**
- 6" Solid Drought-Resistant Plant Package
  - 12" Solid Drought-Resistant Plant Package
  - 18" Solid Drought-Resistant Plant Package
  - 24" Solid Drought-Resistant Plant Package
  - 36" Solid Drought-Resistant Plant Package
  - 48" Solid Drought-Resistant Plant Package
  - 60" Solid Drought-Resistant Plant Package
  - 72" Solid Drought-Resistant Plant Package
  - 84" Solid Drought-Resistant Plant Package
  - 96" Solid Drought-Resistant Plant Package
  - 108" Solid Drought-Resistant Plant Package
  - 120" Solid Drought-Resistant Plant Package
  - 132" Solid Drought-Resistant Plant Package
  - 144" Solid Drought-Resistant Plant Package
  - 156" Solid Drought-Resistant Plant Package
  - 168" Solid Drought-Resistant Plant Package
  - 180" Solid Drought-Resistant Plant Package
  - 192" Solid Drought-Resistant Plant Package
  - 204" Solid Drought-Resistant Plant Package
  - 216" Solid Drought-Resistant Plant Package
  - 228" Solid Drought-Resistant Plant Package
  - 240" Solid Drought-Resistant Plant Package
  - 252" Solid Drought-Resistant Plant Package
  - 264" Solid Drought-Resistant Plant Package
  - 276" Solid Drought-Resistant Plant Package
  - 288" Solid Drought-Resistant Plant Package
  - 300" Solid Drought-Resistant Plant Package
- ALL LANDSCAPING PER COUNTY DRAINAGE TOLERANT PLANT LIST

BUILDING DATA	
OCCUPANCY:	N1
COM. SECTION TYPE:	VAN
LOT SIZE:	0.22 AC (9,645.12 S.F.)
MAX. BLDG. AREA:	(1) RESIDENTIAL
1ST FLOOR:	15,248 S.F.
2ND FLOOR:	10,818 S.F.
3RD FLOOR:	10,408 S.F.
4TH FLOOR:	8,028 S.F.
5TH FLOOR:	14,828 S.F.
6TH FLOOR:	14,828 S.F.
7TH FLOOR:	14,828 S.F.
8TH FLOOR:	14,828 S.F.
9TH FLOOR:	14,828 S.F.
10TH FLOOR:	14,828 S.F.
11TH FLOOR:	14,828 S.F.
12TH FLOOR:	14,828 S.F.
13TH FLOOR:	14,828 S.F.
14TH FLOOR:	14,828 S.F.
15TH FLOOR:	14,828 S.F.
16TH FLOOR:	14,828 S.F.
17TH FLOOR:	14,828 S.F.
18TH FLOOR:	14,828 S.F.
19TH FLOOR:	14,828 S.F.
20TH FLOOR:	14,828 S.F.
21ST FLOOR:	14,828 S.F.
22ND FLOOR:	14,828 S.F.
23RD FLOOR:	14,828 S.F.
24TH FLOOR:	14,828 S.F.
25TH FLOOR:	14,828 S.F.
26TH FLOOR:	14,828 S.F.
27TH FLOOR:	14,828 S.F.
28TH FLOOR:	14,828 S.F.
29TH FLOOR:	14,828 S.F.
30TH FLOOR:	14,828 S.F.
31ST FLOOR:	14,828 S.F.
32ND FLOOR:	14,828 S.F.
33RD FLOOR:	14,828 S.F.
34TH FLOOR:	14,828 S.F.
35TH FLOOR:	14,828 S.F.
36TH FLOOR:	14,828 S.F.
37TH FLOOR:	14,828 S.F.
38TH FLOOR:	14,828 S.F.
39TH FLOOR:	14,828 S.F.
40TH FLOOR:	14,828 S.F.
41ST FLOOR:	14,828 S.F.
42ND FLOOR:	14,828 S.F.
43RD FLOOR:	14,828 S.F.
44TH FLOOR:	14,828 S.F.
45TH FLOOR:	14,828 S.F.
46TH FLOOR:	14,828 S.F.
47TH FLOOR:	14,828 S.F.
48TH FLOOR:	14,828 S.F.
49TH FLOOR:	14,828 S.F.
50TH FLOOR:	14,828 S.F.
51ST FLOOR:	14,828 S.F.
52ND FLOOR:	14,828 S.F.
53RD FLOOR:	14,828 S.F.
54TH FLOOR:	14,828 S.F.
55TH FLOOR:	14,828 S.F.
56TH FLOOR:	14,828 S.F.
57TH FLOOR:	14,828 S.F.
58TH FLOOR:	14,828 S.F.
59TH FLOOR:	14,828 S.F.
60TH FLOOR:	14,828 S.F.
61ST FLOOR:	14,828 S.F.
62ND FLOOR:	14,828 S.F.
63RD FLOOR:	14,828 S.F.
64TH FLOOR:	14,828 S.F.
65TH FLOOR:	14,828 S.F.
66TH FLOOR:	14,828 S.F.
67TH FLOOR:	14,828 S.F.
68TH FLOOR:	14,828 S.F.
69TH FLOOR:	14,828 S.F.
70TH FLOOR:	14,828 S.F.
71ST FLOOR:	14,828 S.F.
72ND FLOOR:	14,828 S.F.
73RD FLOOR:	14,828 S.F.
74TH FLOOR:	14,828 S.F.
75TH FLOOR:	14,828 S.F.
76TH FLOOR:	14,828 S.F.
77TH FLOOR:	14,828 S.F.
78TH FLOOR:	14,828 S.F.
79TH FLOOR:	14,828 S.F.
80TH FLOOR:	14,828 S.F.
81ST FLOOR:	14,828 S.F.
82ND FLOOR:	14,828 S.F.
83RD FLOOR:	14,828 S.F.
84TH FLOOR:	14,828 S.F.
85TH FLOOR:	14,828 S.F.
86TH FLOOR:	14,828 S.F.
87TH FLOOR:	14,828 S.F.
88TH FLOOR:	14,828 S.F.
89TH FLOOR:	14,828 S.F.
90TH FLOOR:	14,828 S.F.
91ST FLOOR:	14,828 S.F.
92ND FLOOR:	14,828 S.F.
93RD FLOOR:	14,828 S.F.
94TH FLOOR:	14,828 S.F.
95TH FLOOR:	14,828 S.F.
96TH FLOOR:	14,828 S.F.
97TH FLOOR:	14,828 S.F.
98TH FLOOR:	14,828 S.F.
99TH FLOOR:	14,828 S.F.
100TH FLOOR:	14,828 S.F.

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- [illegible]

**SPECIAL NOTES:**

2. MAXIMUM DRIVEWAY WIDTH PER STD CO. STD = 20 FEET  
PROPOSED DRIVEWAY WIDTH = 24.0'

## **SCOPE OF WORK**

- MAX RETAINING WALLS BY OTHERS (SOLD I.F.F.):
- CERTIFICATES REQUIRED:
- A. FORM BOARD ELEVATION FOR FINISHED FLOOR  
B. ROOF HEIGHT PRIOR TO RAISING.

**DISCLAIMER NOTES:**

THE EXISTING TOPOGRAPHY AND BOUNDARY INFORMATION SHOWN HEREON WAS PROVIDED BY OTHERS AND NO CLAIM IS MADE AS TO ITS ACCURACY. ALL EXISTING CONDITIONS SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN THE EVENT OF A CONFLICT, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.

**NOT FOR CONSTRUCTION**

7-62

220 MIDWAY STREET  
SAN LUIS OBISPO, CA 93101

1. ALL GRADING CONSTRUCTION SHALL CONFORM TO THE 2001 CALIFORNIA

- EARTHWORK & EXPORT QUANTITIES:**

PARTIAL GRADING OF THE SITE WAS DONE PER THE APPROVED PLAN. EXCAVATION OF MATERIAL EXCAVATED FROM THE APPROVED BUILDING



11/15



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AKS

[illegible] $\frac{2}{9}$ 

A. REDUCE THE AMOUNT OF THE DESTROYED AREA WHERE POSSIBLE.

B. USE OF WATER PUMPS OR SPARKLE SYSTEMS IN SURROUNDING QUANTITIES TO PARTICIPATE AROUND DUST FROM LEAVING THE AREA. WATER PUMPS SHOULD BE RETURNED TO THE AREA WHEN SPEEDS EXCEED 15 MPH. RECYCLED WATER SHOULD BE USED WHENEVER POSSIBLE.

- ### BASIS OF BEARINGS:

ALL OBSERVATION AND TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE OSHA REGULATIONS PERTAINING TO THE CONSTRUCTION INDUSTRY.

100

THE BENCHMARK FOR THE  
LOT 35 OF BLOCK 7A, 3 MB

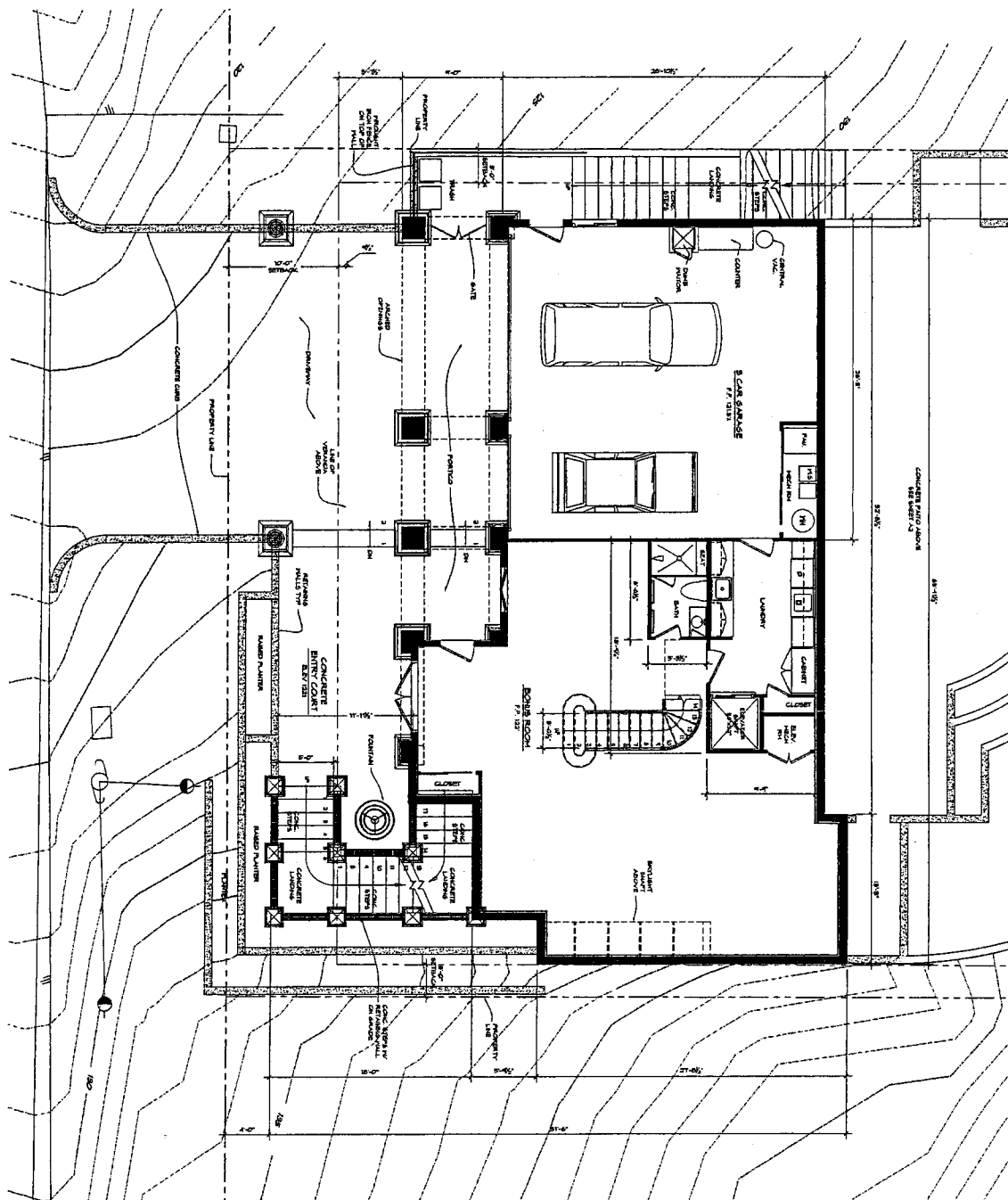
LOIS 16-1A, BLACK BU  
MORRO STRAND UNIT #5

2-63

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LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



PARTIAL BUILDING DATA

Garage Area	1,000 sq. ft.
Pool House and Laundry Area	1,000 sq. ft.
Total Area	2,000 sq. ft.

LOWER LEVEL FLOOR PLAN

A1

CAMERON REALTY PARTNERS  
CAYUCOS, CALIFORNIA  
SCOTT JAY SMARY

RICHARD STREET RESIDENCE  
ARCHITECT

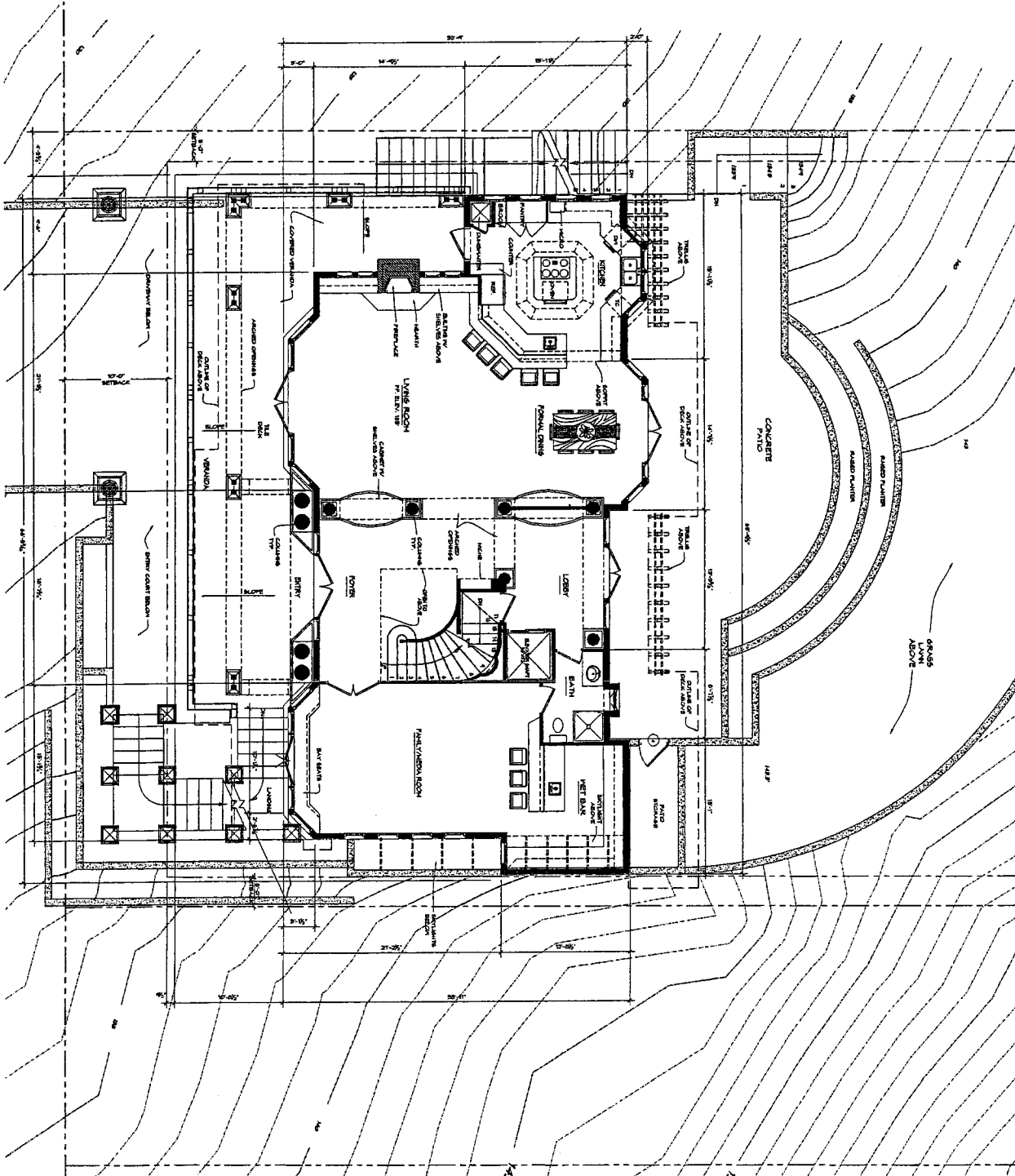


LOWER LEVEL FLOOR PLAN  
SCALE 1/4" = 1'-0"  
SHEET No. A1

2-64

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MAIN LEVEL FLOOR PLAN



**PARTIAL BUILDING DATA**

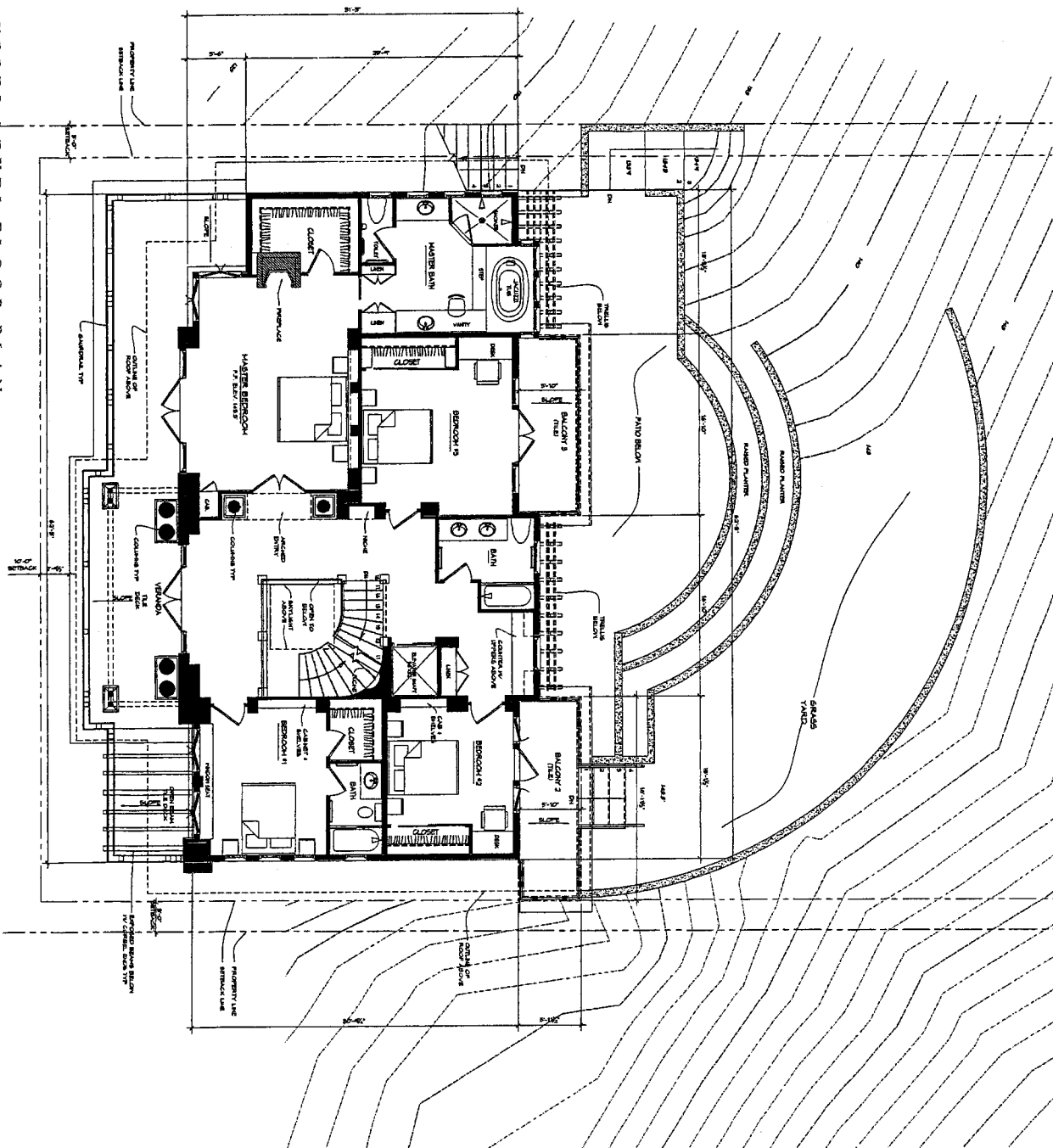
DATE	10/18/17
CONTRACT NUMBER	1017167
TITLE	ARCHITECT



2-65

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UPPER LEVEL FLOOR PLAN



PARTIAL BUILDING DATA

LIVING AREA	1,400 S.F.
BEDROOM 1	600 S.F.
BEDROOM 2	500 S.F.
COVERED VERANDA	400 S.F.
TOTAL AREA	2,900 S.F.

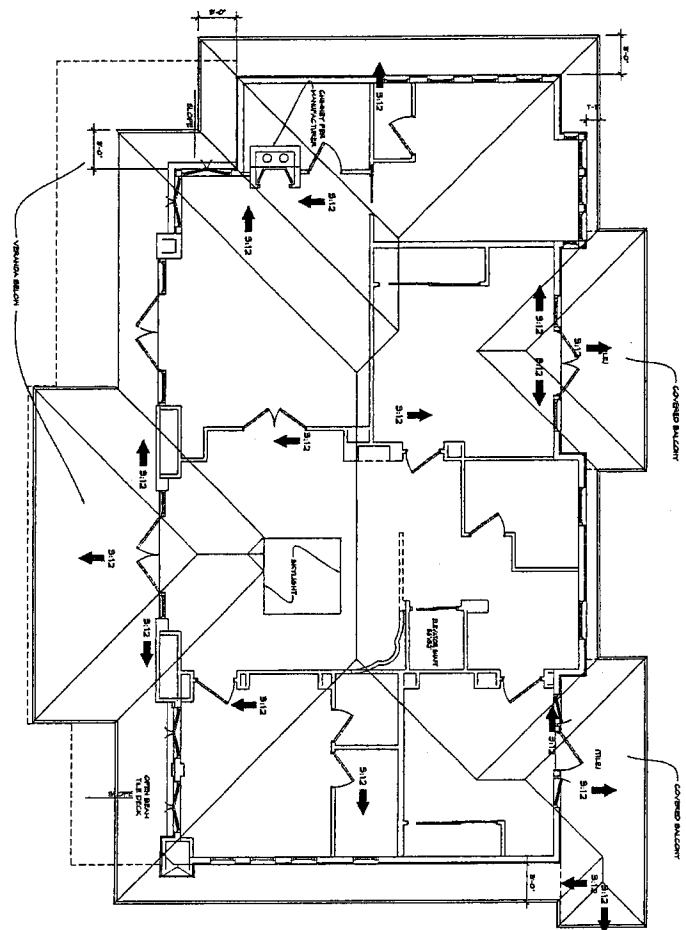
SCALE 1/4" = 1'-0"



2-66

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ROOF PLAN



SCALE: 1/4" = 1'-0"



ROOF PLAN A4

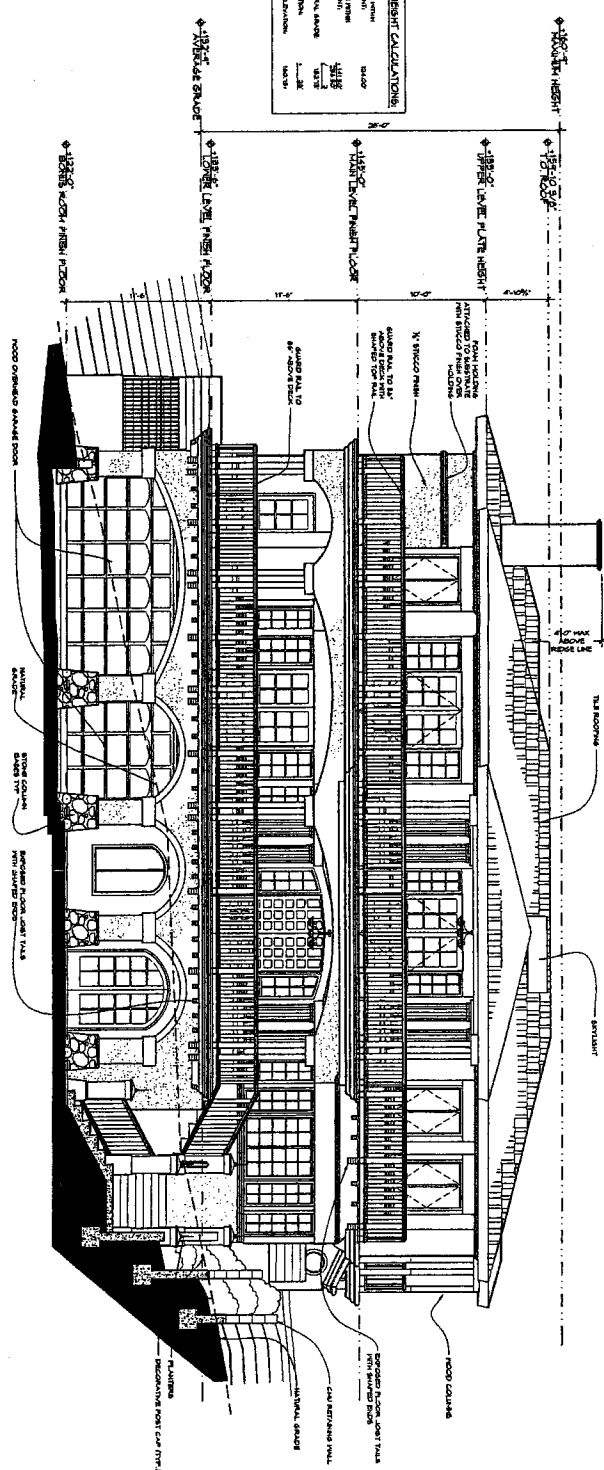


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**MAXIMUM HEIGHT CALCULATION:**

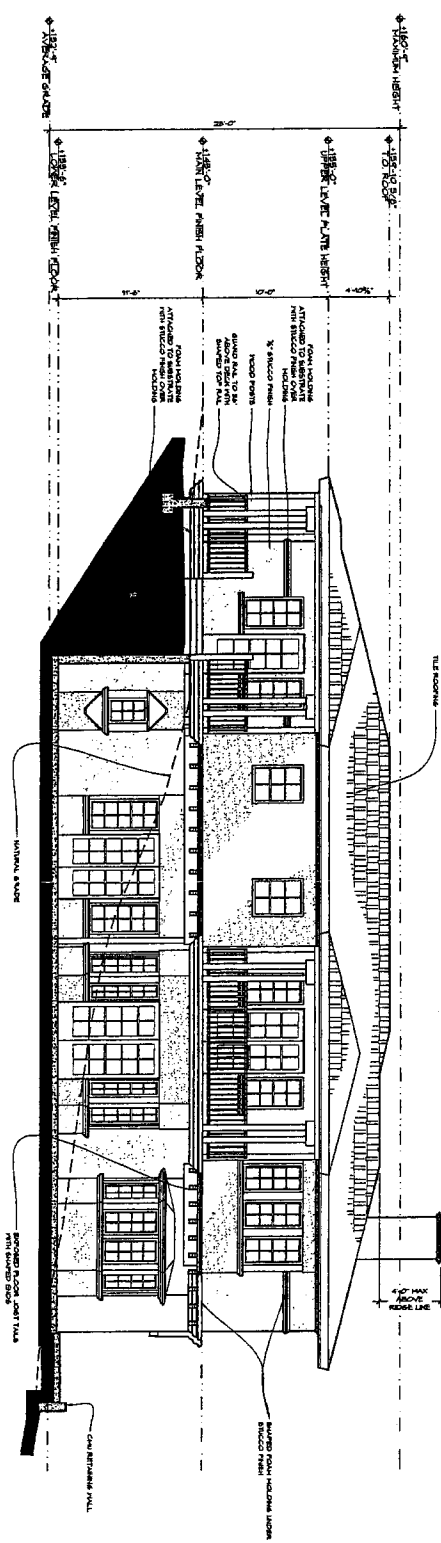
LOWEST GRADE WITHIN BLDG. FOOTPRINT	154.00'
HIGHEST GRADE WITHIN BLDG. FOOTPRINT	154.11'
ADJUSTED VERTICAL GRADE + HIGHEST ELEVATION	154.15'
HIGH GRADE ELEVATION	160.75'

WEST ELEVATION - 1 FRONT



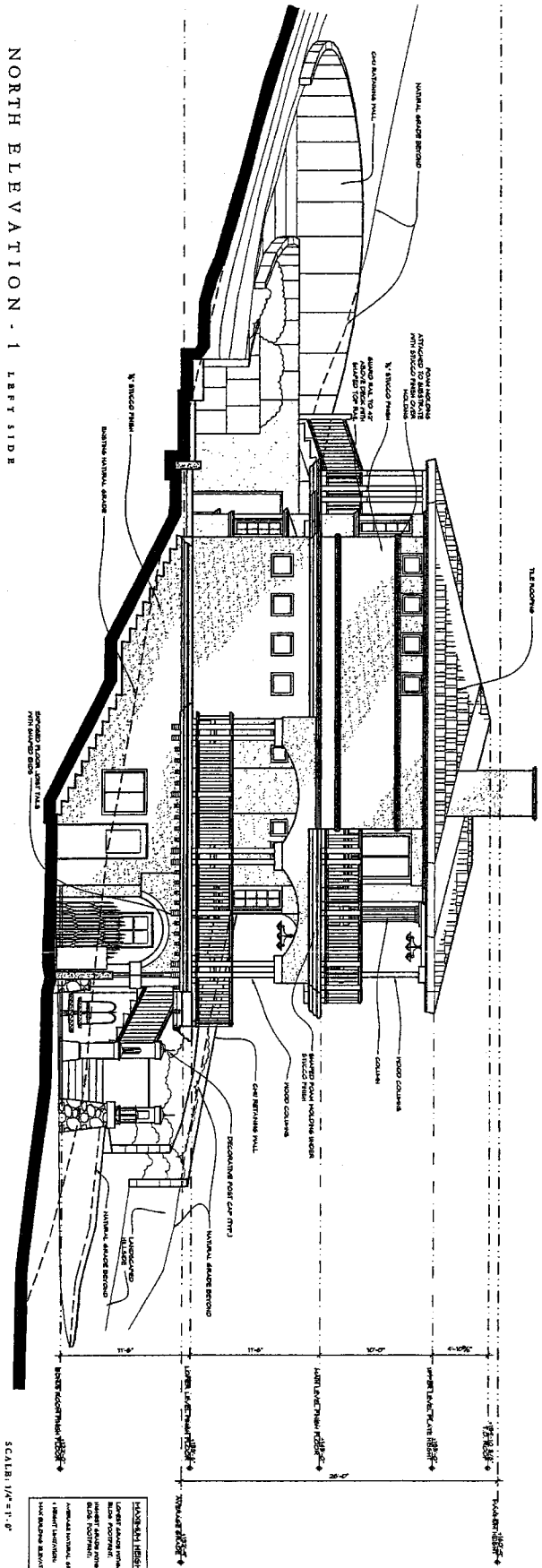
SCALB: 1/4" x 1'-0"

EAST ELEVATION - 1 BACK



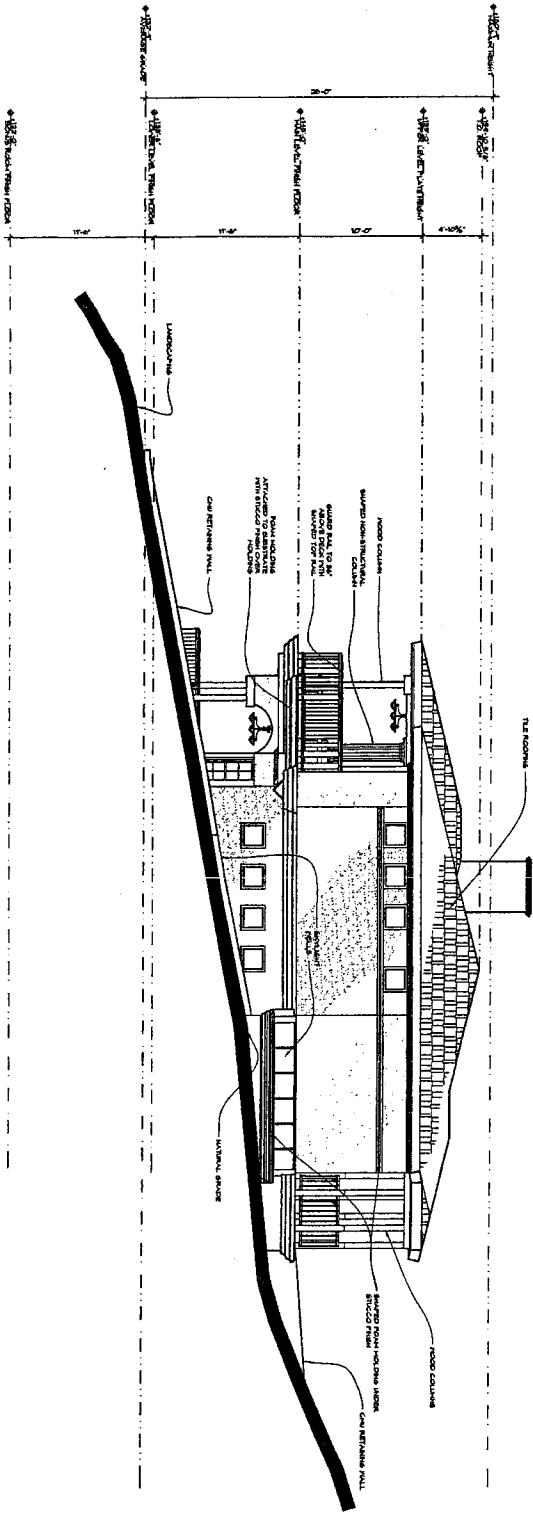
SCALB: 1/4" x 1'-0"

These drawings and related specifications are instruments of service and are and shall remain the property of SCOTT JAY SMARY ARCHITECT. All designs and other information on these drawings are for the use on this specific project and shall not be changed, reused, or referred to any other project without the expressed written permission of SCOTT JAY SMARY ARCHITECT. The licensor shall verify all dimensions and existing conditions. All discrepancies shall be reported to the architect prior to proceeding with work.



SCALB: 1/4" = 1'-0"

PANDORA HEIGHT CALCULATIONS:	
Lowest faunus within BLDG FOOTPRINT:	121.00'
Highest faunus within BLDG FOOTPRINT:	131.82'
Average vertical faunus height (average):	129.10'
Highest land/rock surface elevation:	133.79'
	138'
Maximum elevation:	140.79'



SOUTH ELEVATION - 1 RIGHT SIDE

SCALB:  $1/4^2 = 1' \cdot 0''$

2-69

JRC



SAN LUIS OBISPO COUNTY  
DEPARTMENT OF PLANNING AND BUILDING

VICTOR HOLANDA, AICP  
DIRECTOR

REVISED PROJECT REFERRAL

DATE: September 22, 2004

TO: Cayucos Fire Dept Cameron Realty Partners; Variance D020302V  
Project Name and Number

FROM: James Caruso

Development Review Section (Phone 781-5702 or jcaruso@co.slo.ca.us)

PROJECT DESCRIPTION: Variance for grading on slopes over 30% on a triple wide (75') Cayucos hillside site. Proposed residence is 5168 sq ft. The project also includes construction of road improvements on Richard Ave from the site down the hill to Obispo St.

Return this letter with your comments attached no later than: October 8, 2004

**PART 1** IS THE ATTACHED INFORMATION ADEQUATE FOR YOU TO DO YOUR REVIEW?

☐ YES (Please go on to Part II)

☐ NO (Call me ASAP to discuss what else you need. We have only 30 days in which we must accept the project as complete or request additional information.)

**PART II** ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

☐ NO (Please go on to Part III)

☐ YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)

**PART III** INDICATE YOUR RECOMMENDATION FOR FINAL ACTION. Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial. AN EIR WILL BE PREPARED FOR THIS PROJECT IF YOU HAVE "NO COMMENT", PLEASE INDICATE OR CALL

① PROJECT MUST BE FIRE SPRINKLERED TO NFPA (3) STANDARDS.

② ROAD SHOULD BE ACCEPTED BY SLO COUNTY AFTER IMPROVEMENT.

9-28-04  
Date

Bill Rades  
Name

995-357V  
Phone

G:\Current\Geo Teams\Forms\Project Referral

2-70

DCB



SAN LUIS OBISPO COUNTY  
DEPARTMENT OF PLANNING AND BUILDING

PW

VICTOR HOLANDA, AICP  
DIRECTOR

SEP 22 2004

REVISED PROJECT REFERRAL

DATE: September 22, 2004

TO: CSA #10A Cameron Realty Partners; Variance D020302V  
Project Name and Number

FROM: James Caruso

Development Review Section (Phone 781-5702 or jcaruso@co.slo.ca.us)

PROJECT DESCRIPTION: Variance for grading on slopes over 30% on a triple wide (75') Cayucos hillside  
site. Proposed residence is 5168 sq ft. The project also includes construction of road improvements on  
Richard Ave from the site down the hill to Obispo St. 2625 Richard

Return this letter with your comments attached no later than: October 8, 2004

PART 1 IS THE ATTACHED INFORMATION ADEQUATE FOR YOU TO DO YOUR REVIEW?

☒ YES (Please go on to Part II)

☐ NO (Call me ASAP to discuss what else you need. We have only 30 days in which we must accept the project as complete or request additional information.)

PART II ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

☒ NO (Please go on to Part III)

☐ YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)

PART III INDICATE YOUR RECOMMENDATION FOR FINAL ACTION. Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial. AN EIR WILL BE PREPARED FOR THIS PROJECT

IF YOU HAVE "NO COMMENT", PLEASE INDICATE OR CALL

no issues for CSA 10A unless the grading  
requires relocation of the water meter. Applicant  
must pay for any relocation.

9/24/04  
Date

Doug B  
Name

781-5116  
Phone

G:\Current\Geo Teams\Forms\Project Referral

2-71



# SAN LUIS OBISPO COUNTY DEPARTMENT OF PLANNING AND BUILDING

SEP 22 2004

VICTOR HOLANDA, AICP  
DIRECTOR

## REVISED PROJECT REFERRAL

DATE: September 22, 2004

(Share with Tim Tomlinson)

FROM

Public WorksCameron Realty Partners; Variance D020302V  
Project Name and Number

FROM

James Caruso

Development Review Section (Phone 781-5702 or jcaruso@co.slo.ca.us)

PROJECT DESCRIPTION: Variance for grading on slopes over 30% on a triple wide (75') Cayucos hillside site. Proposed residence is 5168 sq ft. The project also includes construction of road improvements on Richard Ave from the site down the hill to Obispo St.

Return this letter with your comments attached no later than: October 8, 2004

**PART 1** IS THE ATTACHED INFORMATION ADEQUATE FOR YOU TO DO YOUR REVIEW?

☒ YES (Please go on to Part II)☐ NO (Call me ASAP to discuss what else you need. We have only 30 days in which we must accept the project as complete or request additional information.)

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**PART III** INDICATE YOUR RECOMMENDATION FOR FINAL ACTION. Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial. AN EIR WILL BE PREPARED FOR THIS PROJECT

IF YOU HAVE "NO COMMENT", PLEASE INDICATE OR CALL

RECOMMEND APPROVAL - NEED EROSION & SEDIMENTATION PLAN FOR WORK  
BETWEEN OCT 15 & APR 15 OF EACH YEAR. ENCROACHMENT PERMIT FOR NEW DRIVEWAY  
AND ROAD IMPROVEMENTS. ROAD IMPROVEMENTS WILL NEED A PLAN PREPARED BY RCE.  
DRAINAGE PLAN NEEDED - MAY REQUIRE DETENTION BASIN TO AVOID IMPACTS TO NEIGHBORS.

5252

Date

Name

Phone

G:\Current\Geo Teams\Forms\Project Referral